



Artists Conception. Please refer to plans for project specifications

# LANDSCAPE



**CityVillage**

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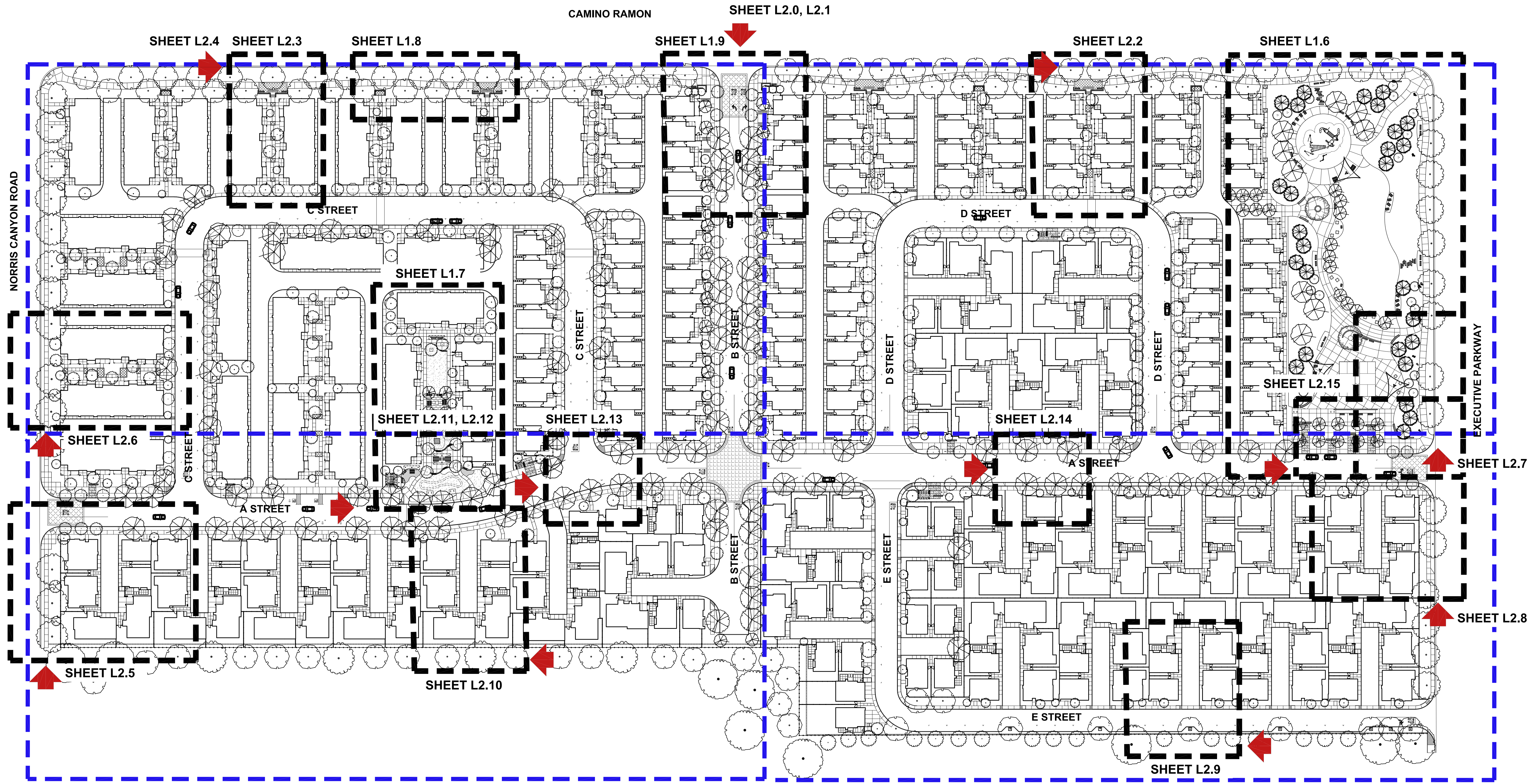
**LANDSCAPE**  
ILLUSTRATIVE SITE PLAN

**L1.0**

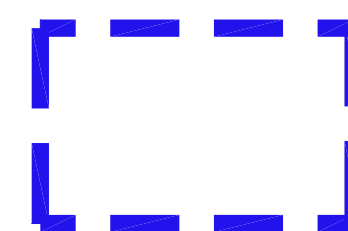
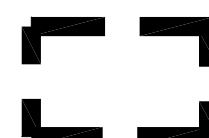

0 30 60 120

CITY OF SAN RAMON, CA  
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GRAPHIC LEGEND

-  30-SCALE PLANS
-  PLAN ENLARGEMENTS
-  SECTION/ELEVATION/PERSPECTIVE VIEWS



DOUBLE ROW OF STREET TREES (PLATANUS COLOMBIA) AT 40' O.C. STAGGERED SPACING

8' WIDE MEANDERING PATH w/ 5' MIN. TO 20' WIDE PLANTING STRIP

SEATING NODE OVERLOOK w/ DECORATIVE PAVING AND SEAT WALL, TYP.

SEATING NODE AT PASEO CONNECTION w/ DECORATIVE PAVING, BENCHES, SEAT WALLS AND GRAND STAIRWAY, TYP.

CAMINO RAMON

ENTRY MONUMENT WALLS AND SEATING NODES, TYP.

DECORATIVE PAVING AT ENTRY, TYP.

SINGLE ROW OF STREET TREES (ULMUS PARVIFOLIA 'DRAKE') AT APPROX. 40' O.C., TYP.

5' DETACHED SIDEWALK w/ 4' PLANTING STRIP & BIO-RETENTION AREAS AT BOW, TYP.

C STREET

5' DETACHED SIDEWALK w/ 6' MIN. PLANTING STRIP AND PLANTING BULB-OUTS ON B STREET

4' ATTACHED SIDEWALK ON C, D & E STREETS w/ PEDESTRIAN CONNECTIONS & CROSSINGS TO CAMINO RAMON, A STREET AND PASEOS, TYP.

PASEO WALKS w/ DECORATIVE SCORED PAVING AND ENTRY PORCHES AT THE TOWNS, TYP.

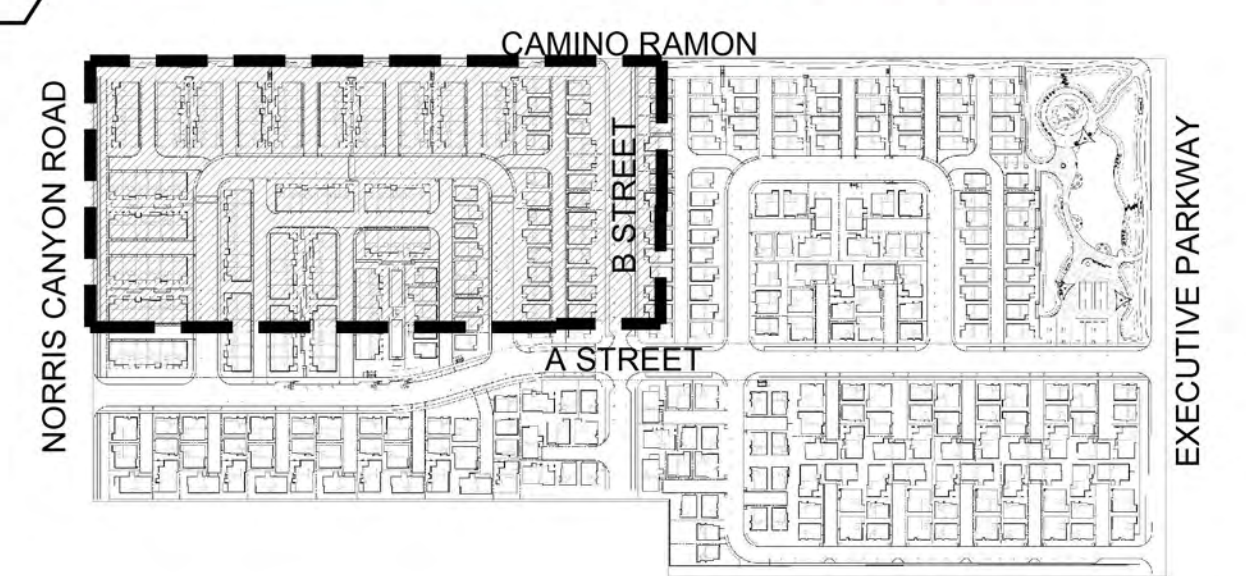
COMMON AREA OPEN SPACE w/ TOT LOT, BBQ/PICNIC AREAS, SHADE TRELLISES, GRASS LAWN, SEATING WALLS AND BENCHES SEE PLAN ENLARGMENT SHEET L1.7

PRIVATE SIDE YARDS w/ 6' FENCE & GATE AT DETACHED ROWS, TYP.

PRIVATE FRONT YARD GARDENS w/ LOW FENCE & GATE AT DETACHED ROWS, TYP.

5' DETACHED SIDEWALK w/ 6' MIN. PLANTING STRIP AND PLANTING BULB-OUTS ON B STREET

SEE SHEET L1.3



KEY MAP

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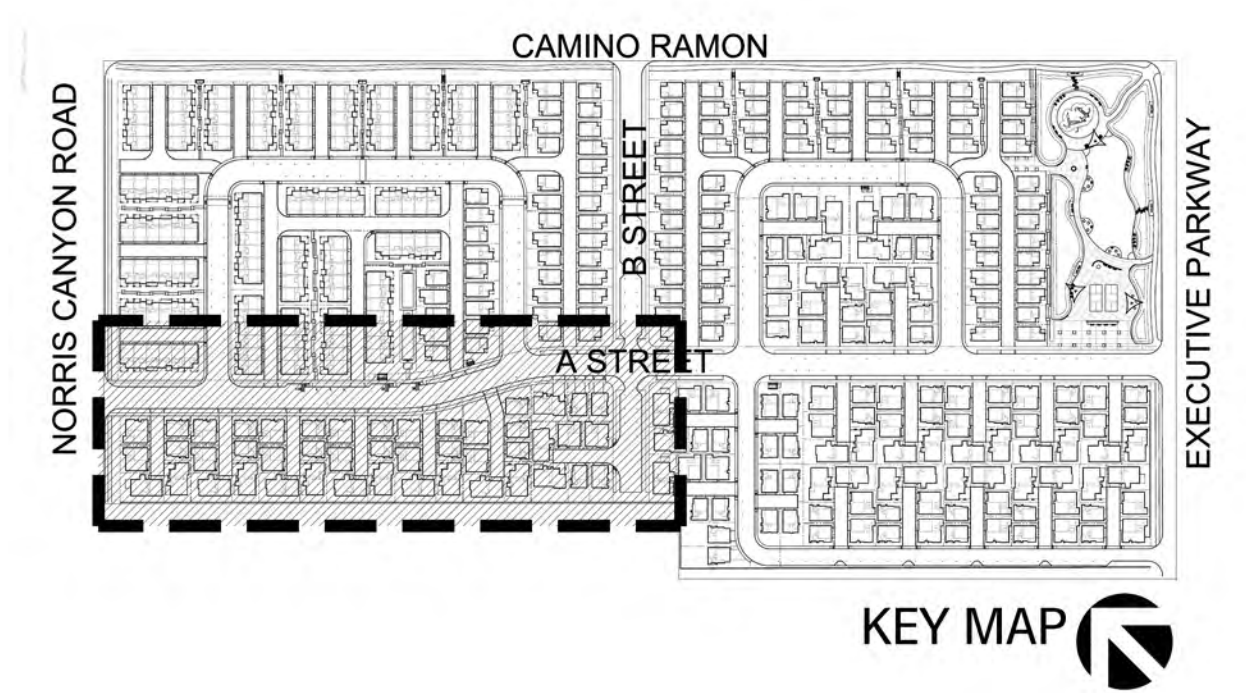
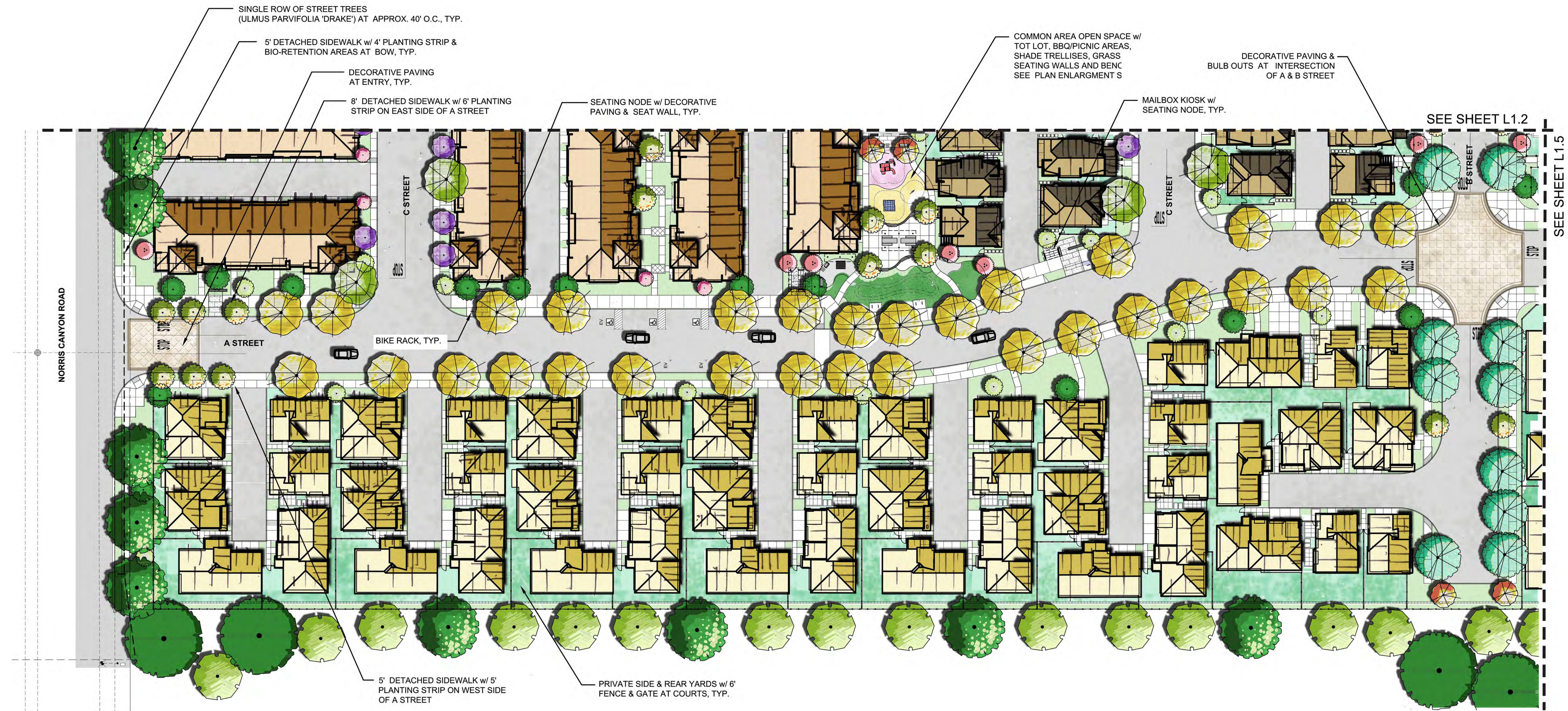
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**LANDSCAPE SITE PLAN L1.2**

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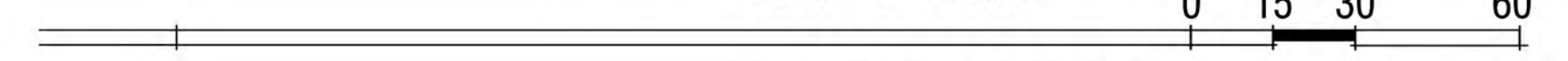
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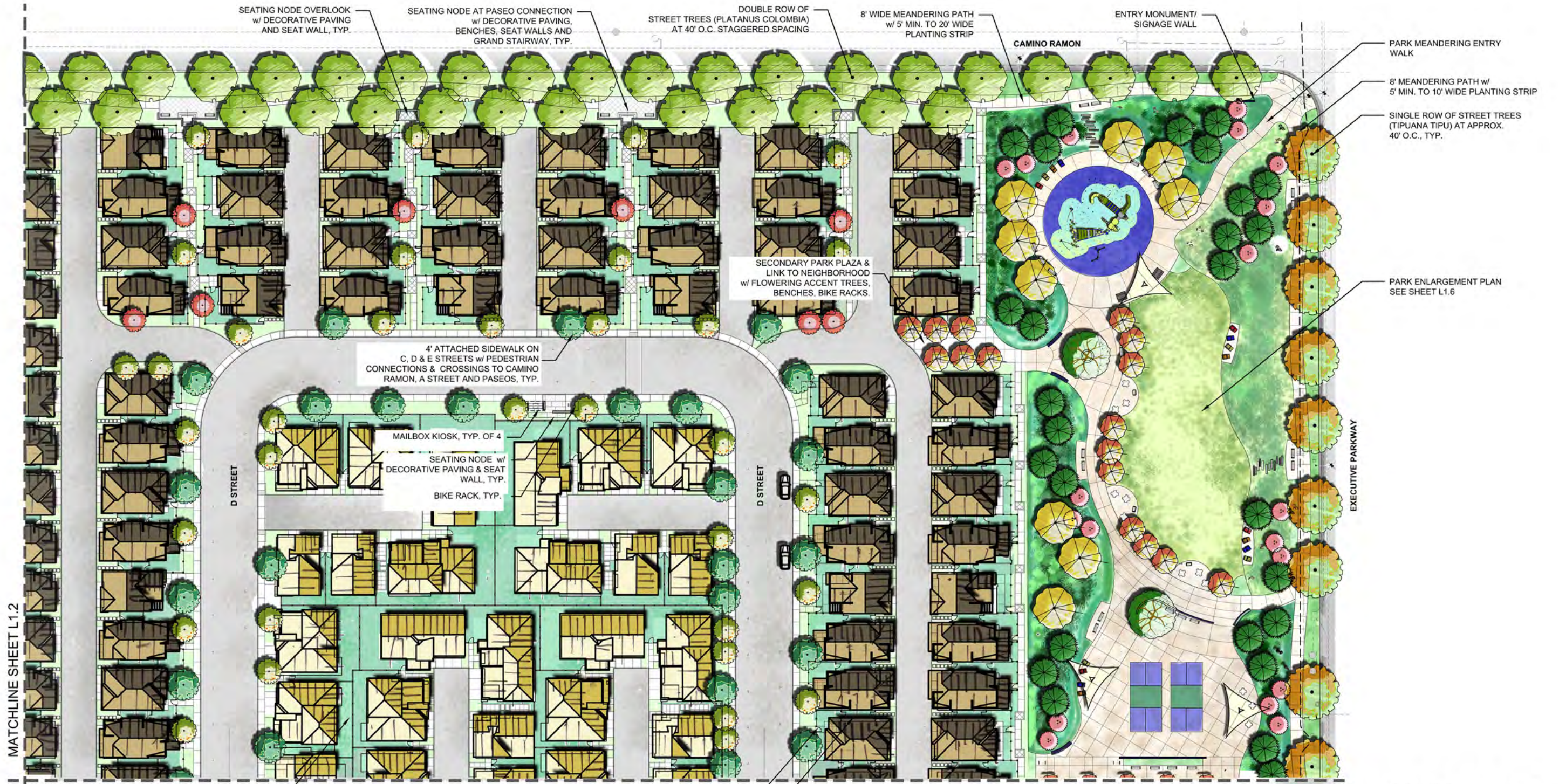
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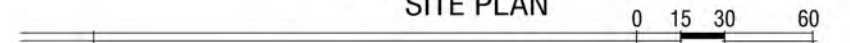
**LANDSCAPE SITE PLAN L1.3**

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KEY MAP

LANDSCAPE SITE PLAN L1.4



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COMMUNITIES OF DISTINCTION

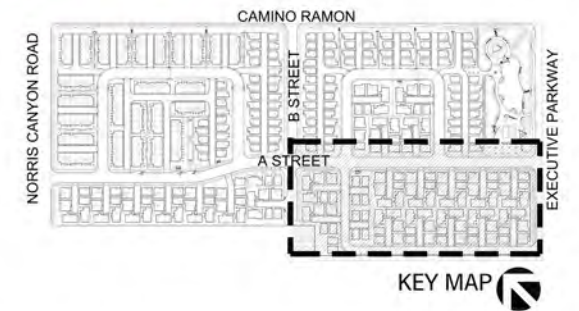
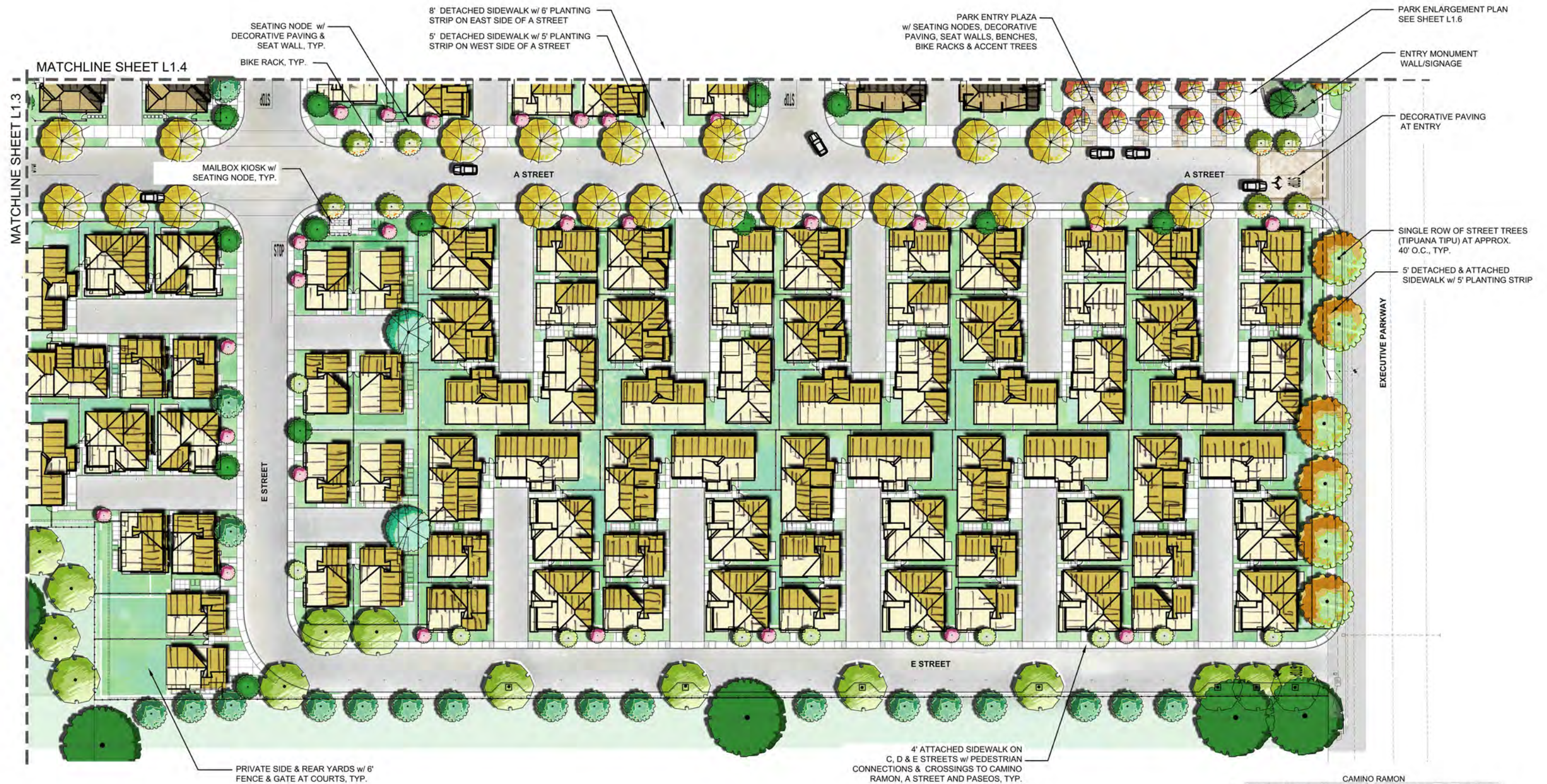
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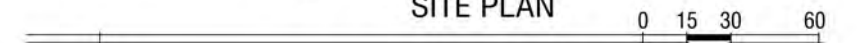
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LANDSCAPE SITE PLAN L1.5



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**PLAN INDEX**

- |                                                                                                  |                                                                 |                                               |                                                  |                                                 |
|--------------------------------------------------------------------------------------------------|-----------------------------------------------------------------|-----------------------------------------------|--------------------------------------------------|-------------------------------------------------|
| ① 200'x84' GREAT LAWN AREA<br>16,500 sf                                                          | ④ 70' DIA. TOT LOT AREA<br>3800 sf                              | ⑦ PICNIC AREAS w/ TABLES, BBQ<br>GRILLS, TYP. | ⑩ LARGE CANOPY SHADE TREES w/<br>SEATWALLS, TYP. | ⑬ PEDESTRIAN CONNECTION AT<br>RESIDENTIAL UNITS |
| ② GRASSY MEADOW/BIO-RETENTION<br>GARDEN AREAS                                                    | ⑤ PICKLE BALL COURT, TYPICAL<br>OF 2                            | ⑧ ENTRY PLAZA                                 | ⑪ MEANDERING SIDEWALKS AT PARK<br>PERIMETER      |                                                 |
| ③ STEPPING STONES AND<br>MEDITATION BENCHES/SEATING<br>OVERLOOKING MEADOW/BIO-<br>AREAS AND PARK | ⑥ SHADE SAILS OVER PICNIC<br>TABLES, SEATING AND GAME<br>TABLES | ⑨ PARKING AREA                                | ⑫ PARK ENTRY POINTS FROM<br>MEANDERING SIDEWALKS |                                                 |



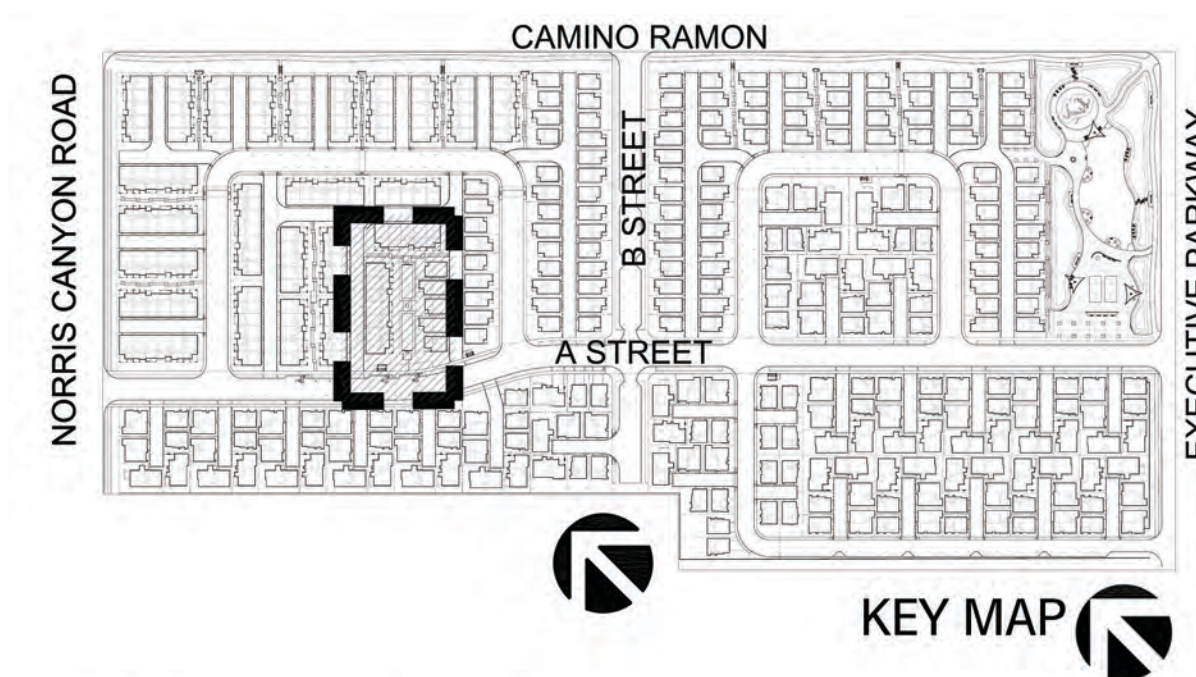


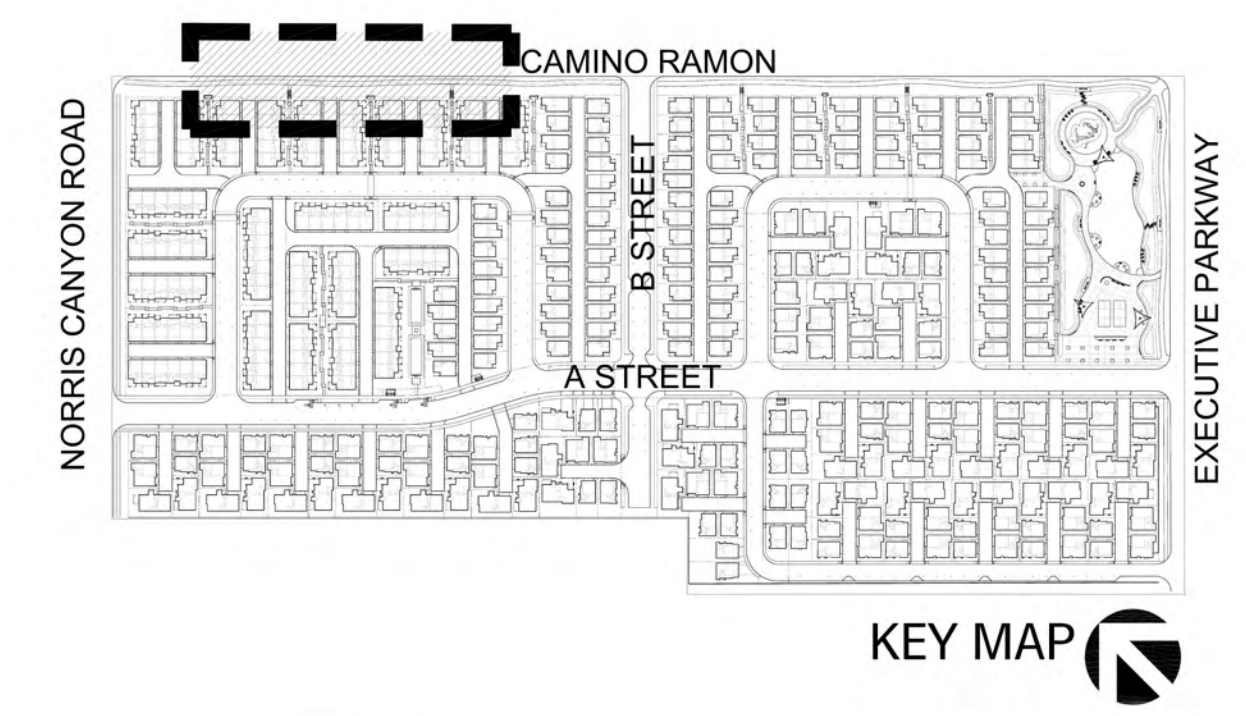
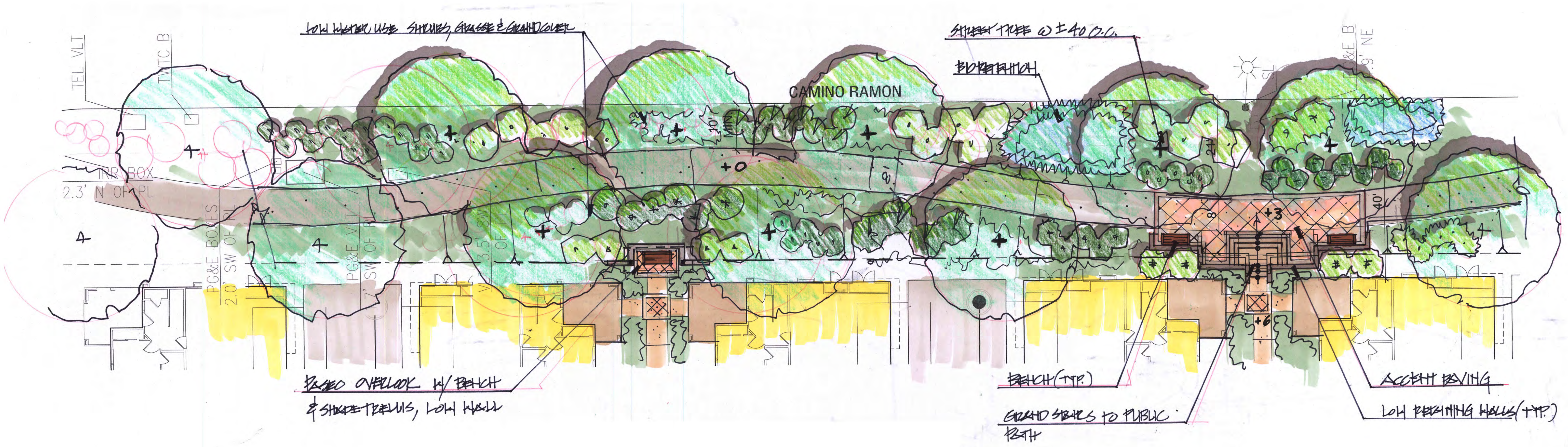


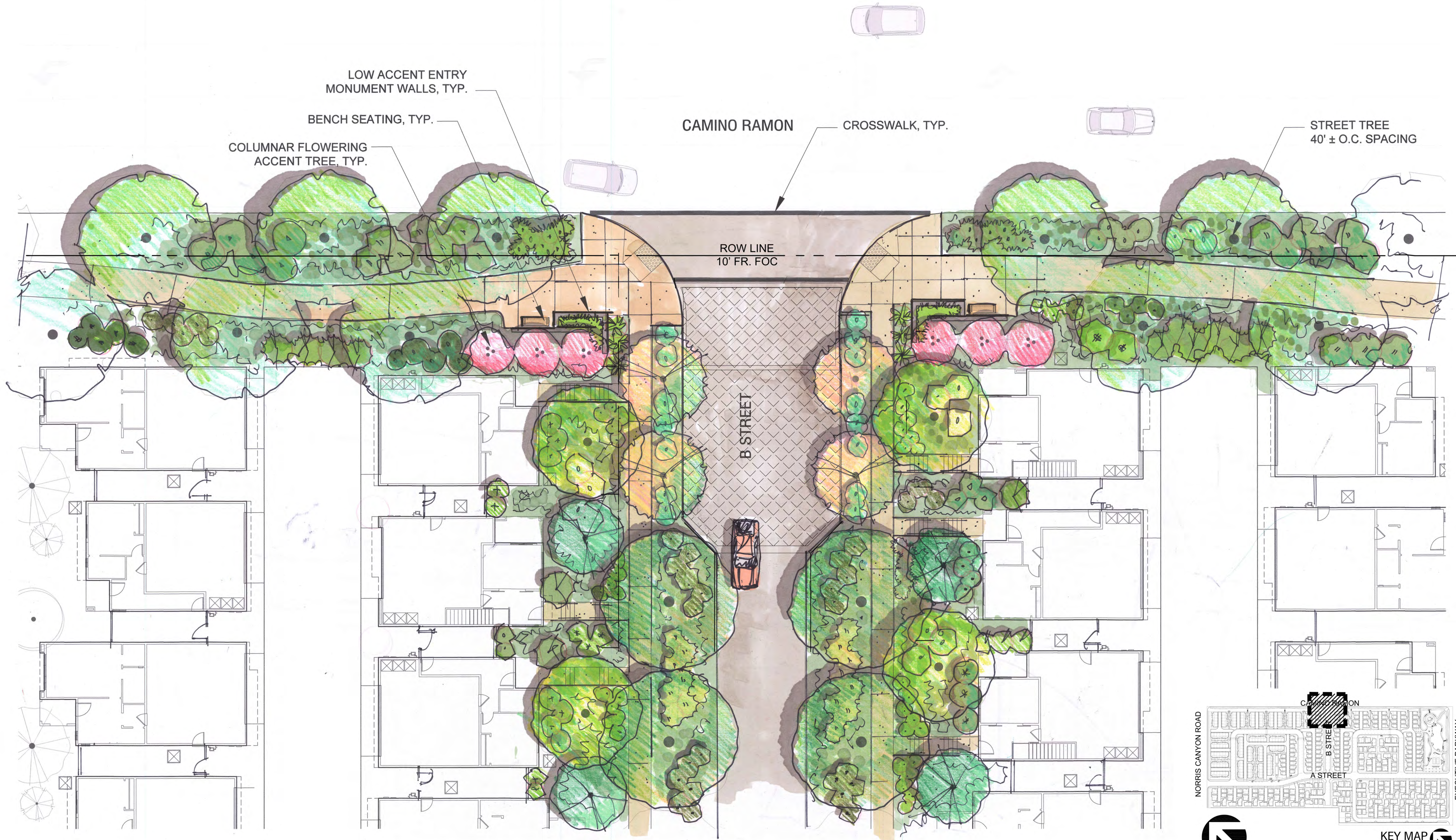
COMMON AREA OPEN SPACE

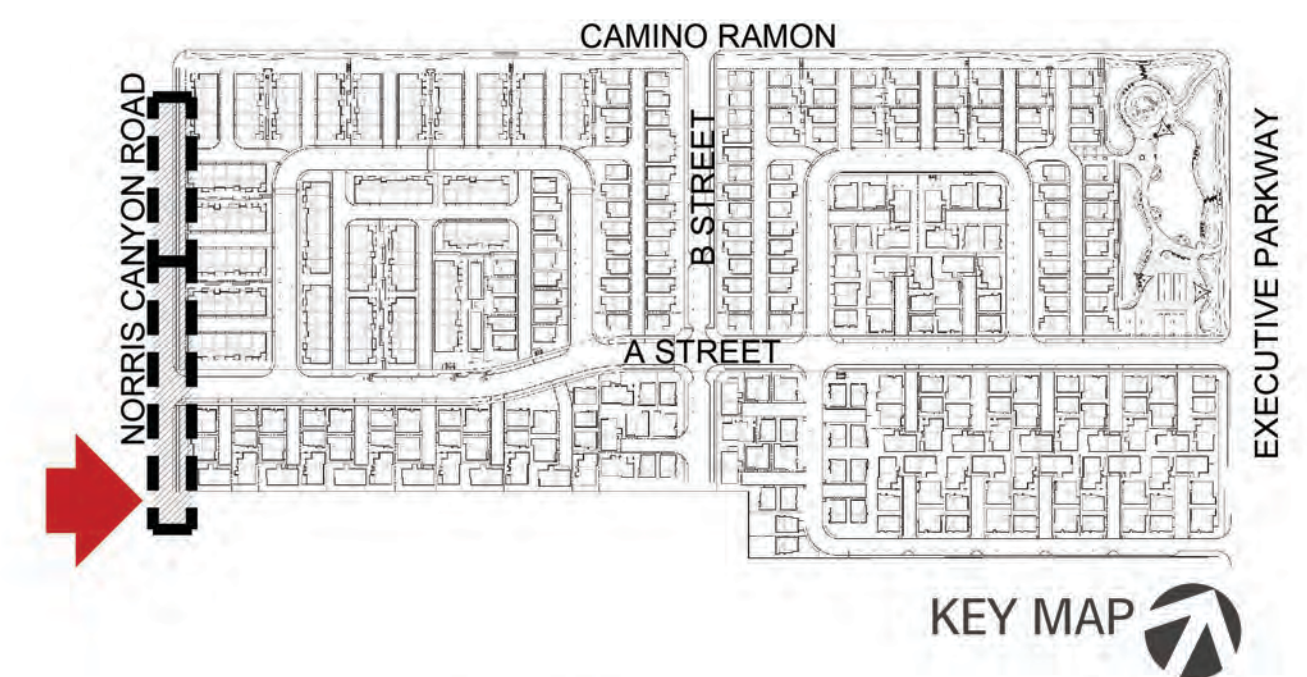
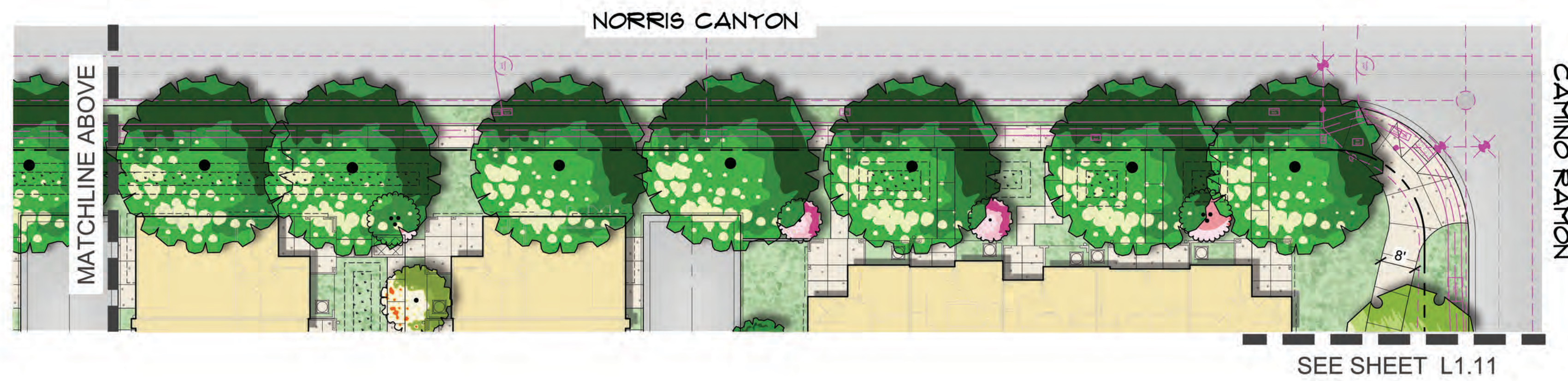
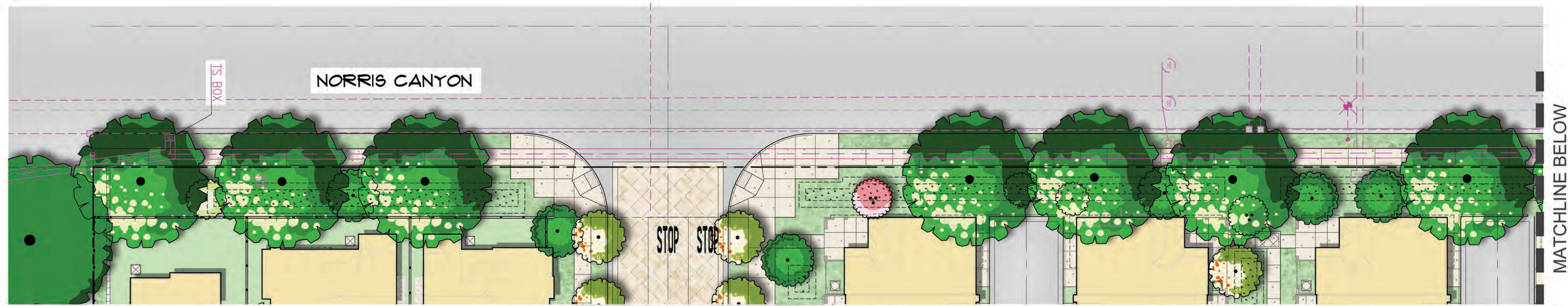


- |                                                                                       |                                                                                         |                                                                                         |                                              |
|---------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------|----------------------------------------------|
| ① DECORATIVE HORIZONTAL WOOD SLAT GOOD NEIGHBOR FENCE AT SIDE YARDS/ REAR YARDS, TYP. | ④ COMMUNAL AREA w/ DECORATIVE CONCRETE PAVING, BENCHES, PICNIC TABLES & CHAIRS, AND BBQ | ⑦ PICNIC AREA w/ PICNIC TABLE & CHAIRS, AND BBQ                                         | ⑩ TRELLIS w/ SEATING AND/ OR TABLES & CHAIRS |
| ② 3' PATIO FENCE & GATE, TYP.                                                         | ⑤ LAWN/ TURF AREA                                                                       | ⑧ PLAY AREA WITH CLIMBING STRUCTURE, PLAY HOUSE AND ROCKER FOR CHILDREN AGES 2-5 & 5-12 | ⑪ BIKE RACK, TYP.                            |
| ③ CONCRETE PAVING                                                                     | ⑥ DECOMPOSED GRANITE PAVING                                                             | ⑨ SEATWALL/ BUILT-IN BENCH                                                              | ⑫ PRIVATE YARD, TYP.                         |
|                                                                                       |                                                                                         |                                                                                         | ⑬ COMMON LANDSCAPE AREA, TYP.                |

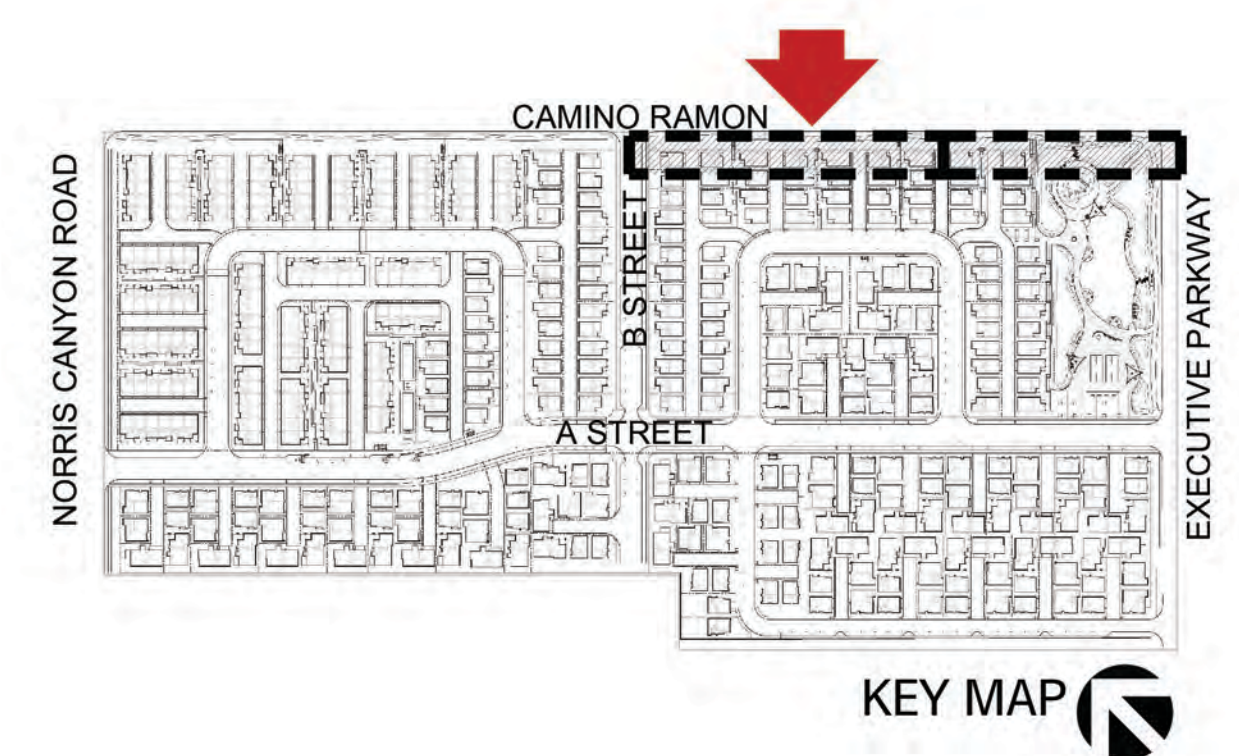
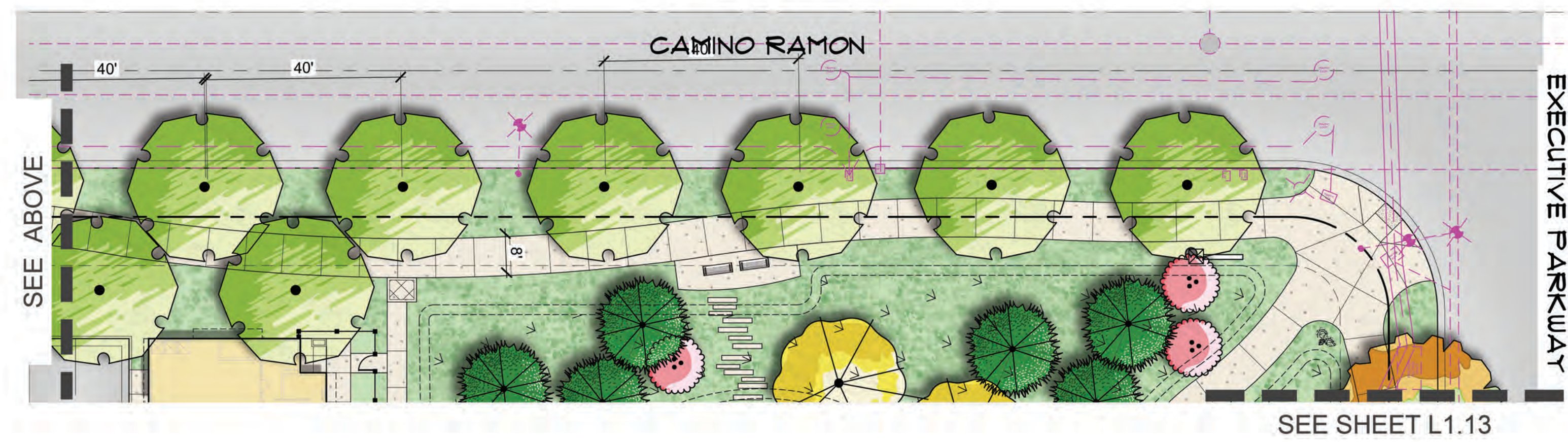
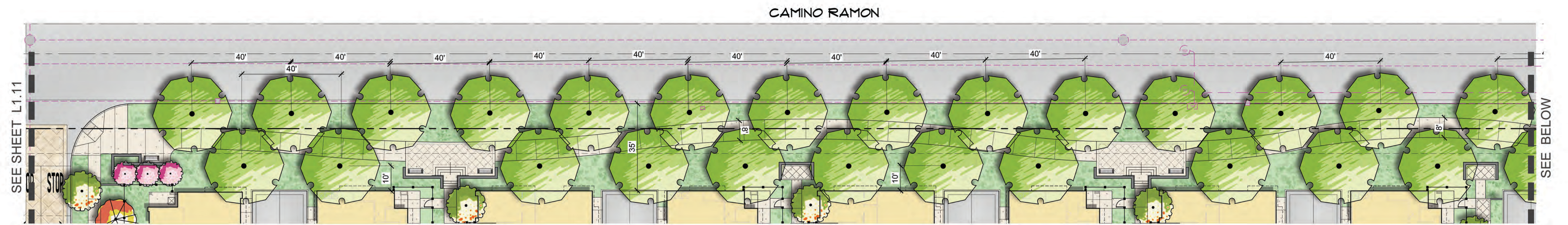












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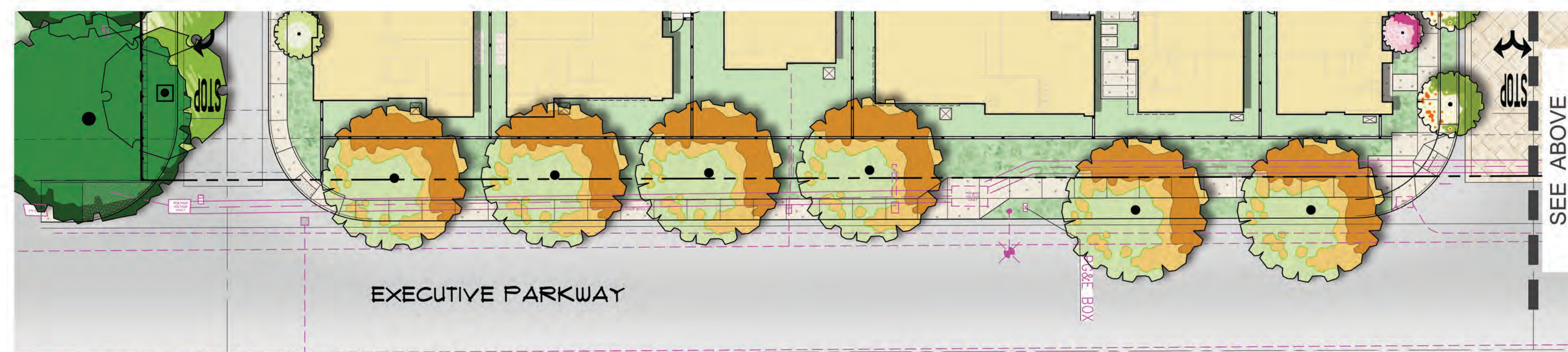
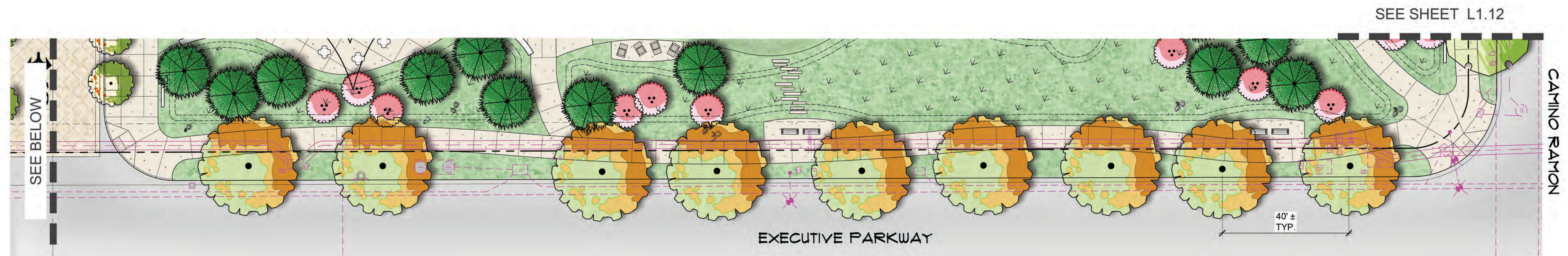
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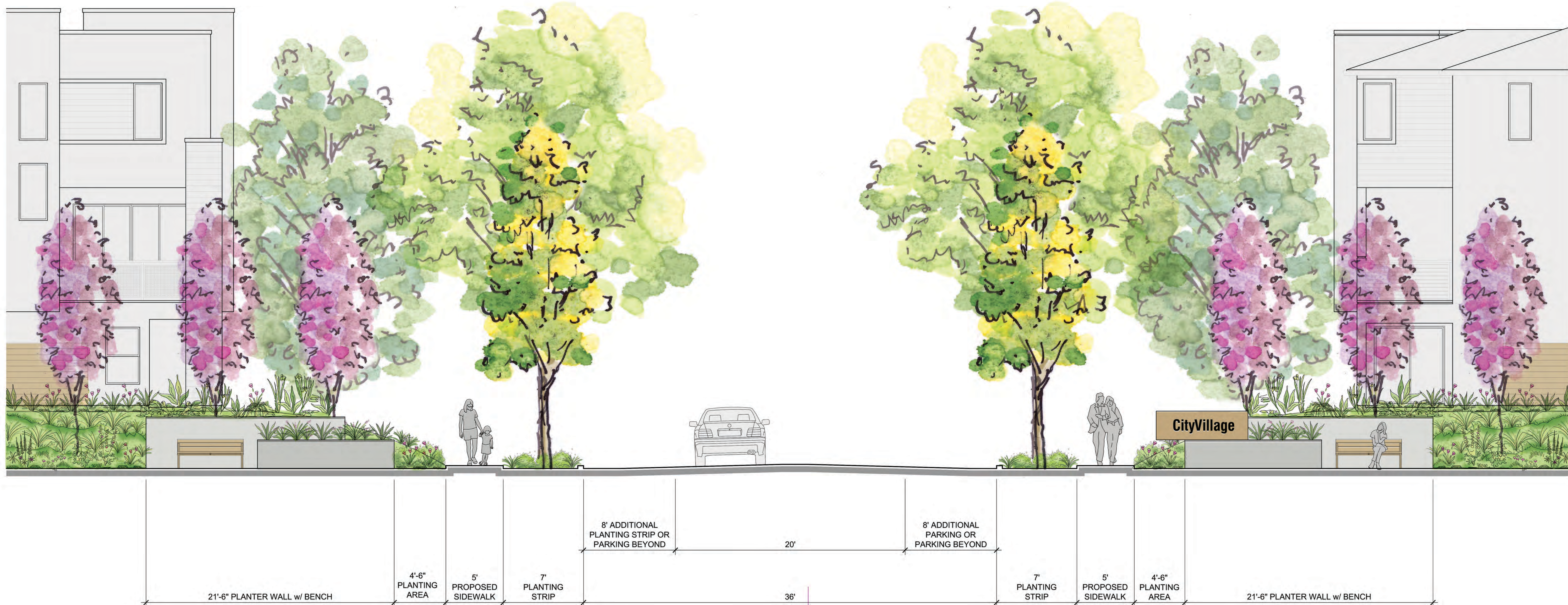
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LANDSCAPE L1.12  
STREETSCAPE EXHIBIT

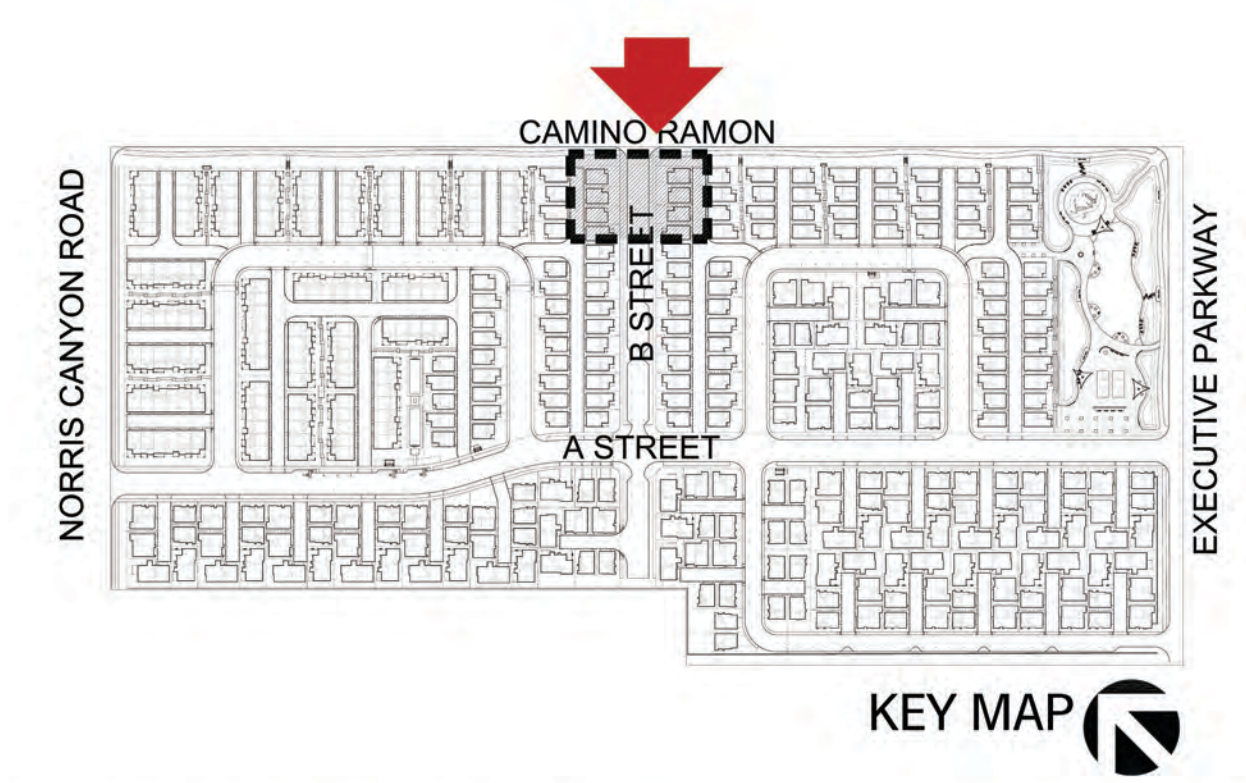
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SECTION AT CAMINO RAMON & B STREET



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**LANDSCAPE L2.0**  
CAMINO RAMON & B STREET



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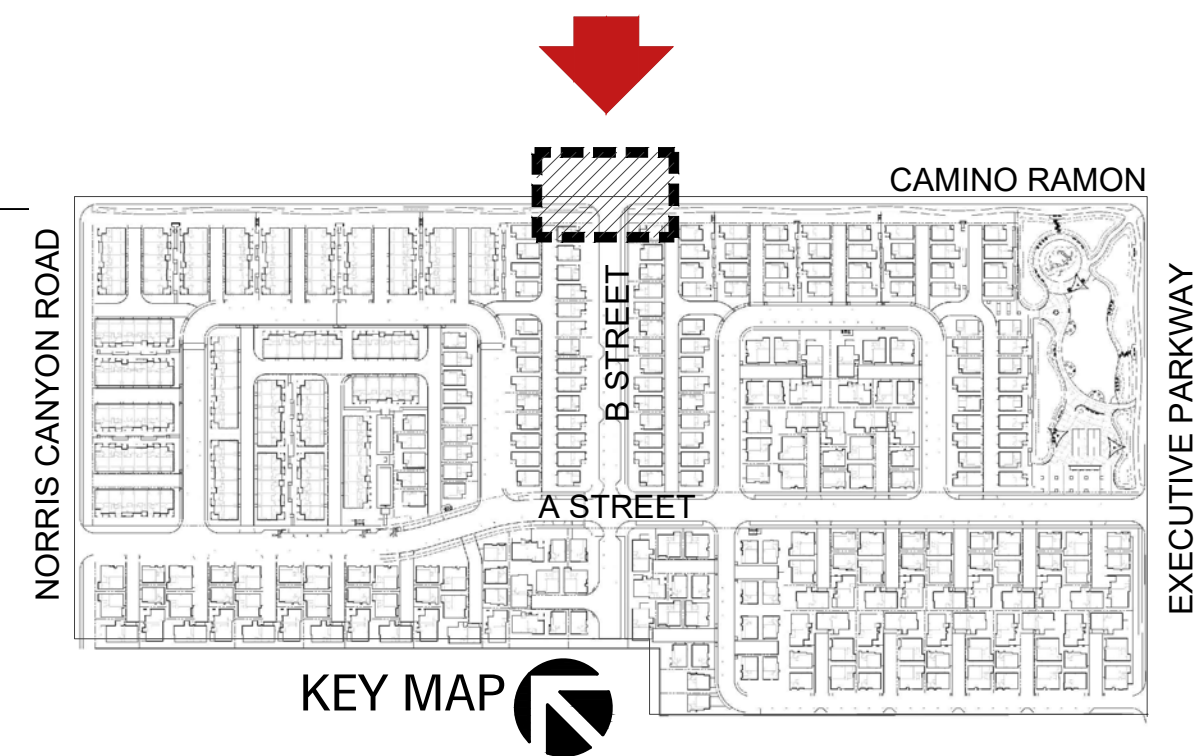




Artists' conception. Please refer to plans for project specifications.

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**LANDSCAPE**  
CAMINO RAMON & B ST. PERSPECTIVE

L2.1

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SECTION/ELEVATION ROWS AT CAMINO RAMON



ROWS AT CAMINO RAMON



● FRONT DOOR LOCATION, TYP.

- ① DECORATIVE HORIZONTAL WOOD SLAT GOOD NEIGHBOR FENCE AT SIDE YARDS/ REAR YARDS, TYP.
- ② MEANDERING SIDEWALK
- ③ DECORATIVE SCORED CONCRETE PAVING
- ④ STAIRS & WING WALL
- ⑤ PRIVATE YARD, TYP.
- ⑥ COMMON LANDSCAPE AREA, TYP.
- ⑦ 3' PATIO FENCE & GATE, TYP.



SECTION - ROWS AT CAMINO RAMON

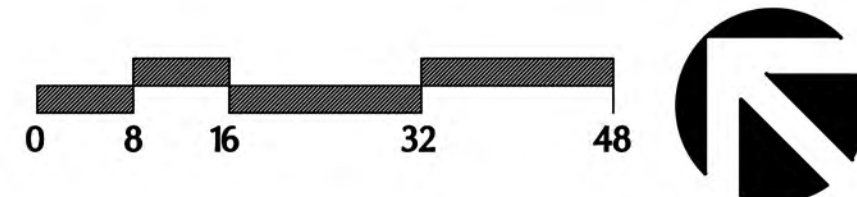


KEY MAP

SECTION/ELEVATION  
TOWNS AT CAMINO RAMON



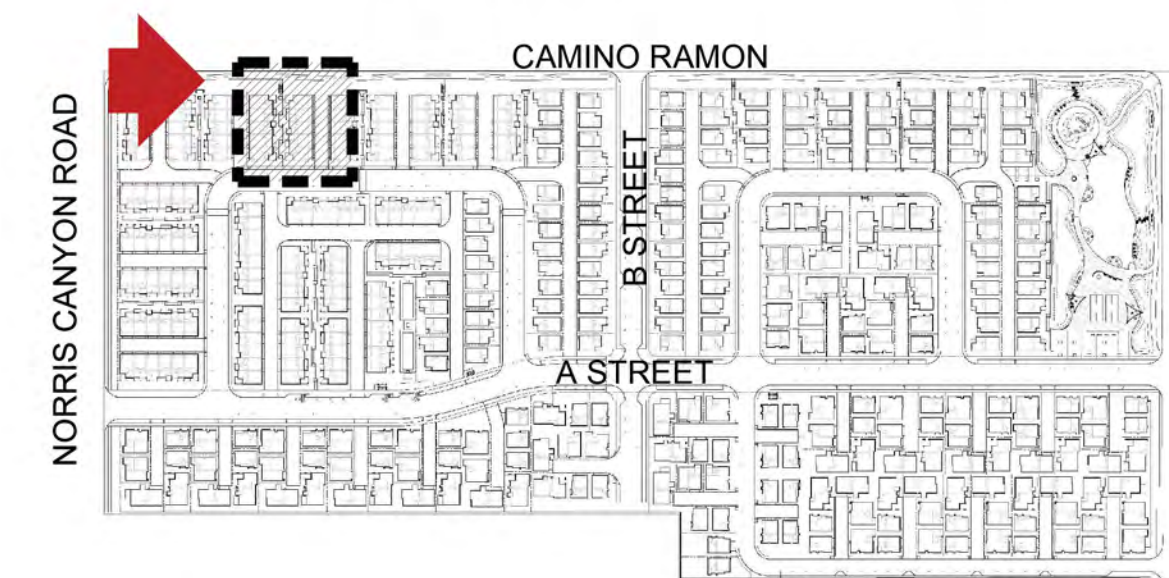
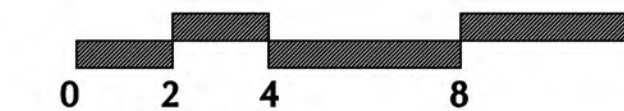
TOWNS AT CAMINO RAMON



- FRONT DOOR LOCATION, TYP.
- ① MEANDERING SIDEWALK
- ② CONCRETE PAVING
- ③ DECORATIVE SCORED CONCRETE PAVING
- ④ STAIRS AND WING WALL
- ⑤ COMMON LANDSCAPE AREA, TYP.



SECTION - TOWNS AT CAMINO RAMON



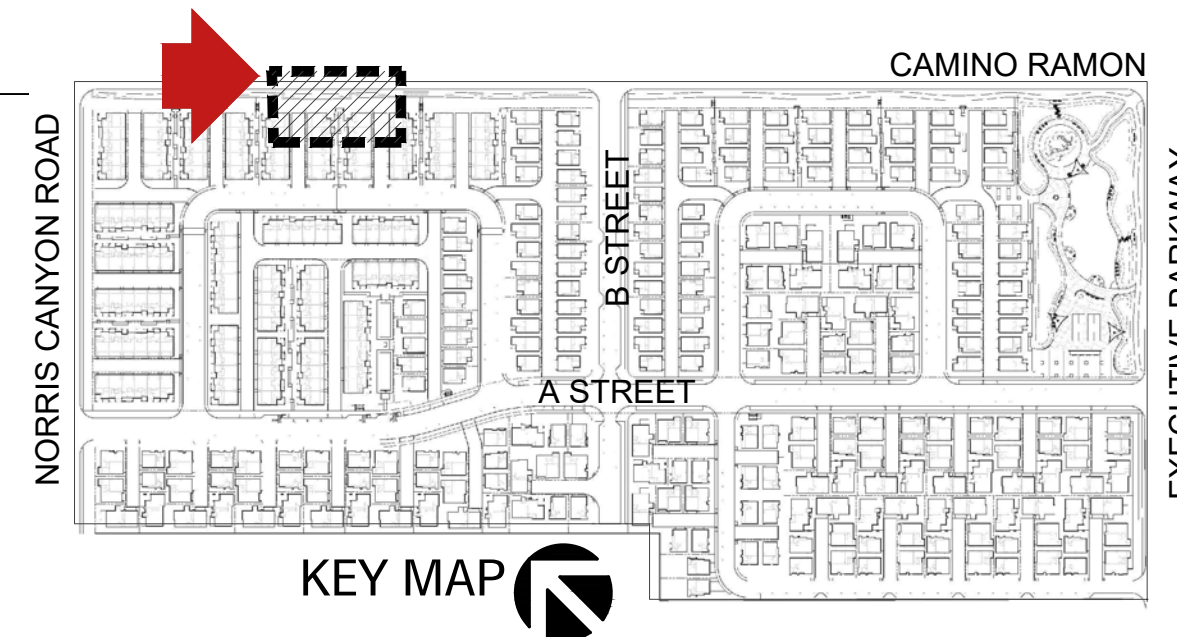
KEY MAP



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**LANDSCAPE**  
CAMINO RAMON PERSPECTIVE

**L2.4**

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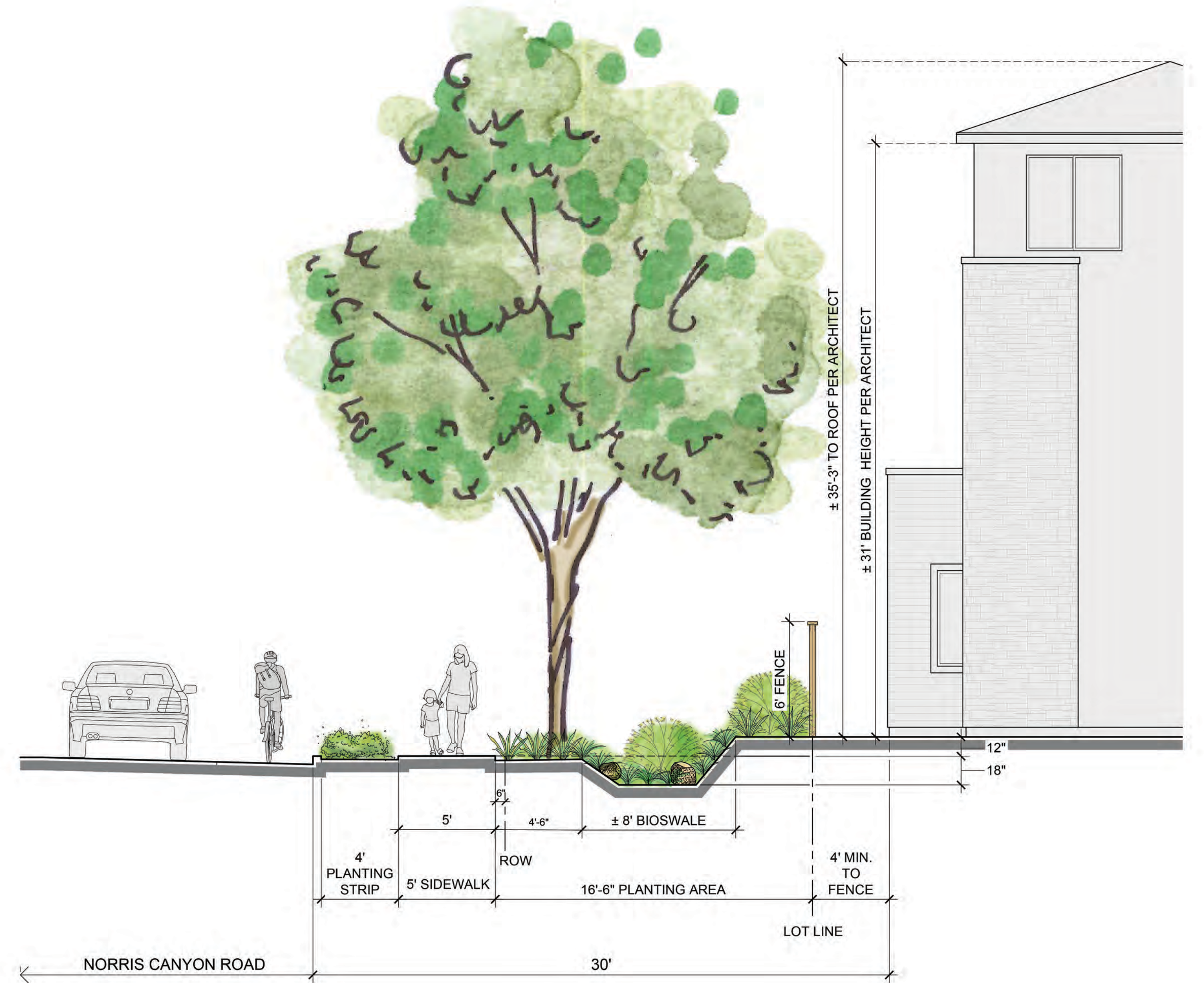
SECTION/ELEVATION  
COURTS AT  
NORRIS CANYON

COURTS AT NORRIS CANYON & A STREET

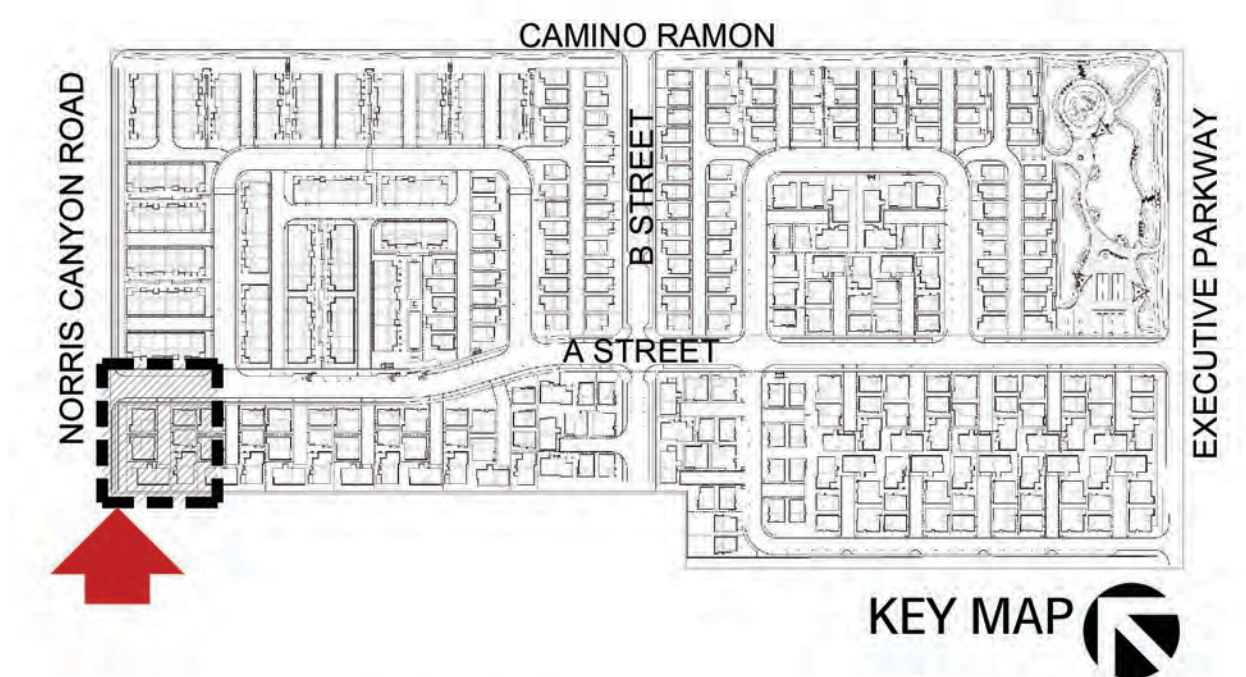


- FRONT DOOR LOCATION, TYP.
- ✕ ADJACENT EXISTING TREE, TYP.

- ① DECORATIVE HORIZONTAL WOOD SLAT GOOD NEIGHBOR FENCE AT SIDE YARDS/ REAR YARDS, TYP.
- ② SIDEWALK/ CONCRETE PAVING
- ③ ENTRY COURTYARD w/ DECORATIVE HORIZONTAL WOOD SLAT FENCE & GATE AND PAVING
- ④ RETAINING WALL w/ GUARDRAIL
- ⑤ PRIVATE YARD, TYP.
- ⑥ COMMON LANDSCAPE AREA, TYP.
- ⑦ PRIVATE DECK/BALCONY, TYP.



SECTION - COURTS AT NORRIS CANYON & A STREET



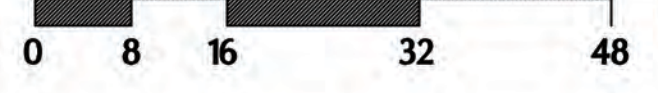
KEY MAP



SECTION/ELEVATION  
TOWNS AT  
NORRIS CANYON

NORRIS CANYON ROAD

TOWNS AT NORRIS CANYON



- FRONT DOOR LOCATION, TYP.
- ① SIDEWALK/ CONCRETE PAVING
- ② DECORATIVE SCORED CONCRETE PAVING
- ③ COMMON LANDSCAPE AREA, TYP.

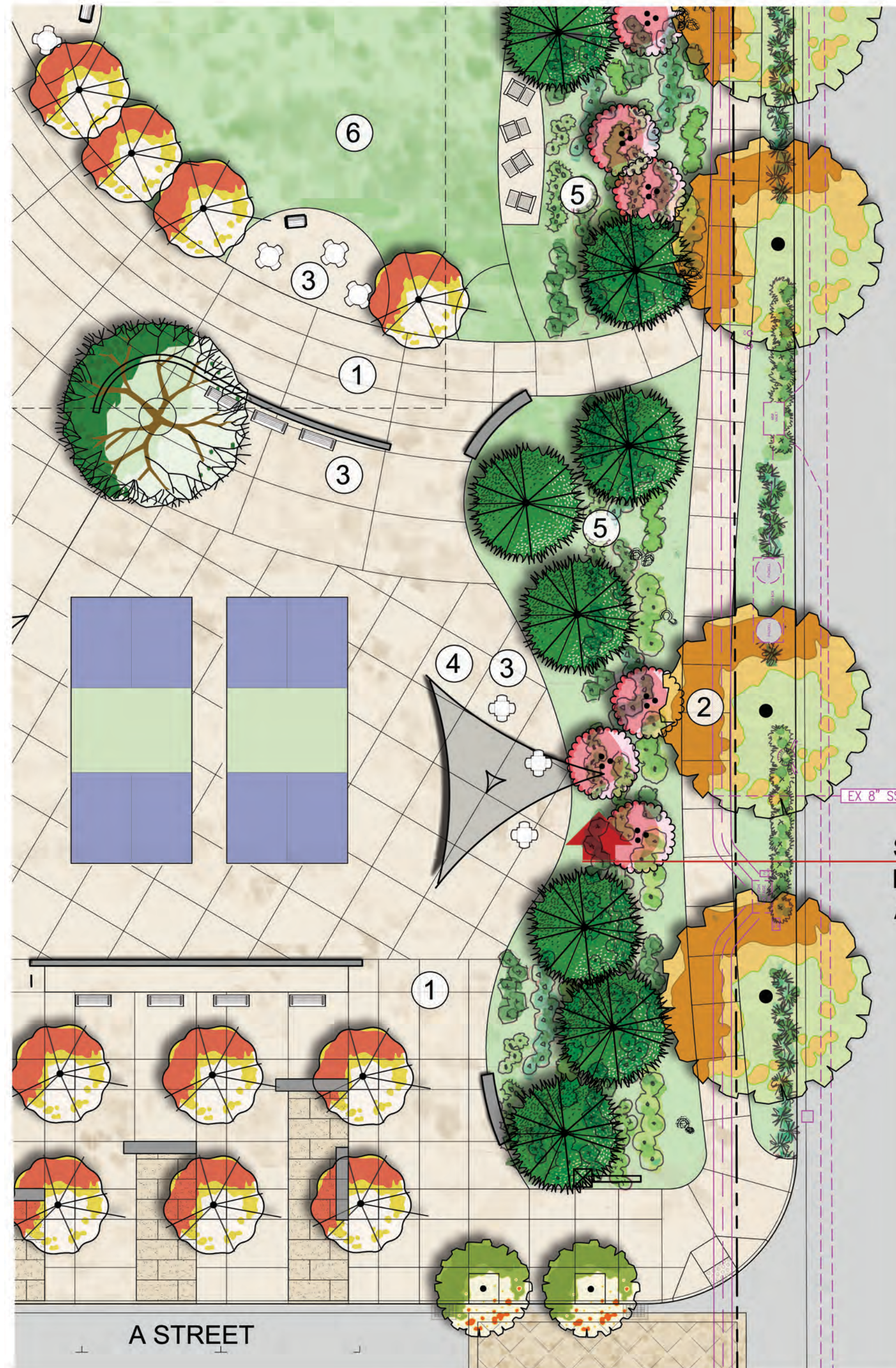


SECTION - TOWNS AT NORRIS CANYON



KEY MAP

SEE SHEET L1.6 FOR PARK PLAN



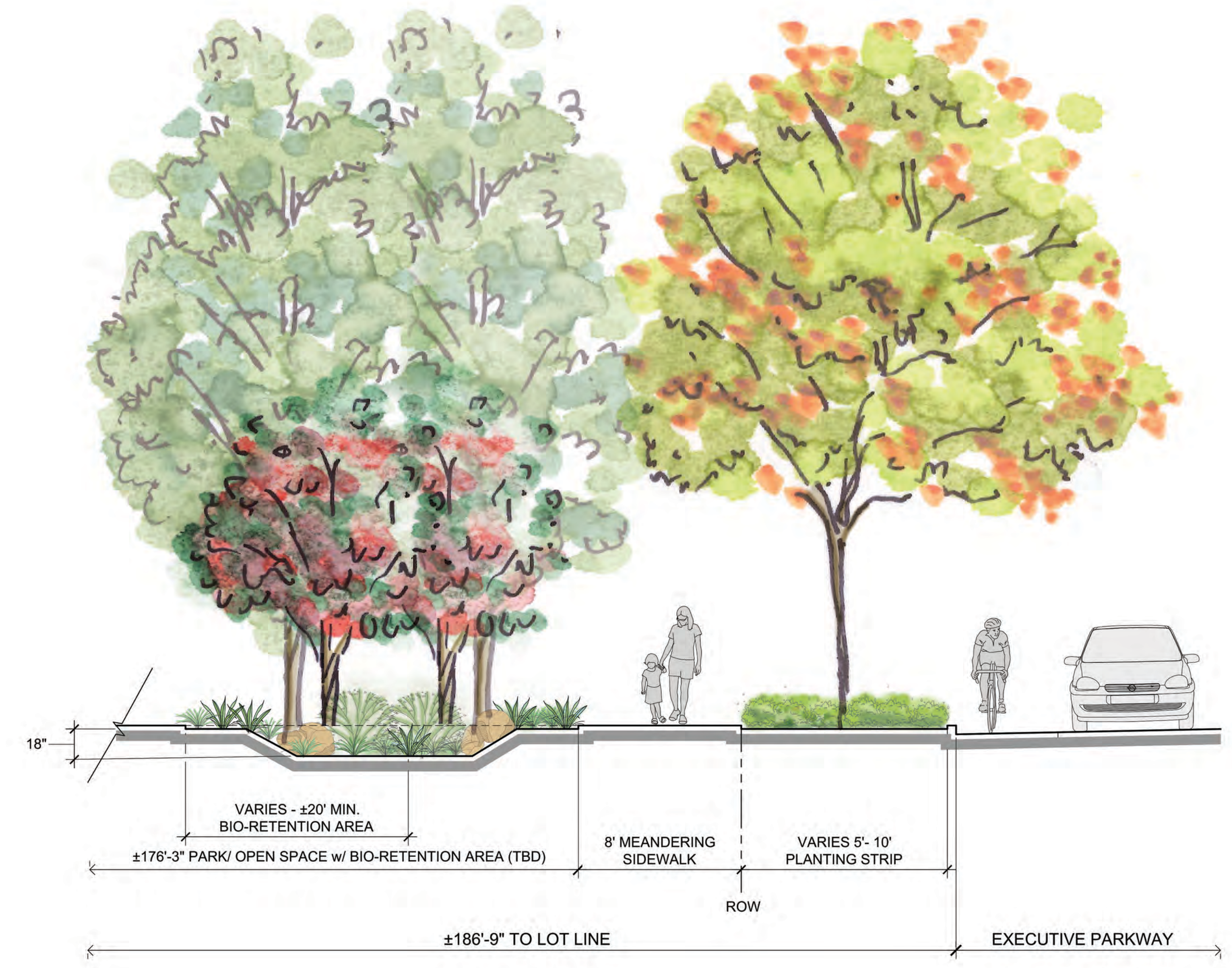
EXECUTIVE PARKWAY

SECTION / ELEVATION  
PARK PARCEL  
AT EXECUTIVE PARKWAY

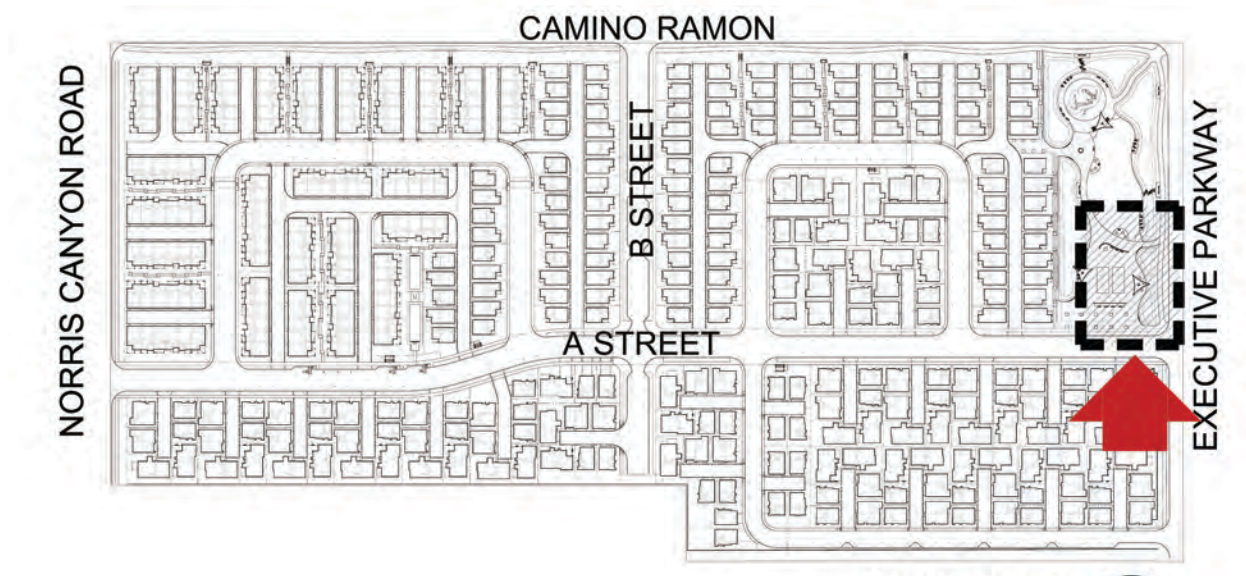
PARK PARCEL EDGE AT EXECUTIVE PARKWAY



- ① PLAZA PAVING
- ② MEANDERING SIDEWALK
- ③ FURNITURE
- ④ SHADE SAIL
- ⑤ BIOSWALE
- ⑥ COMMON LANDSCAPE AREA, TYP.



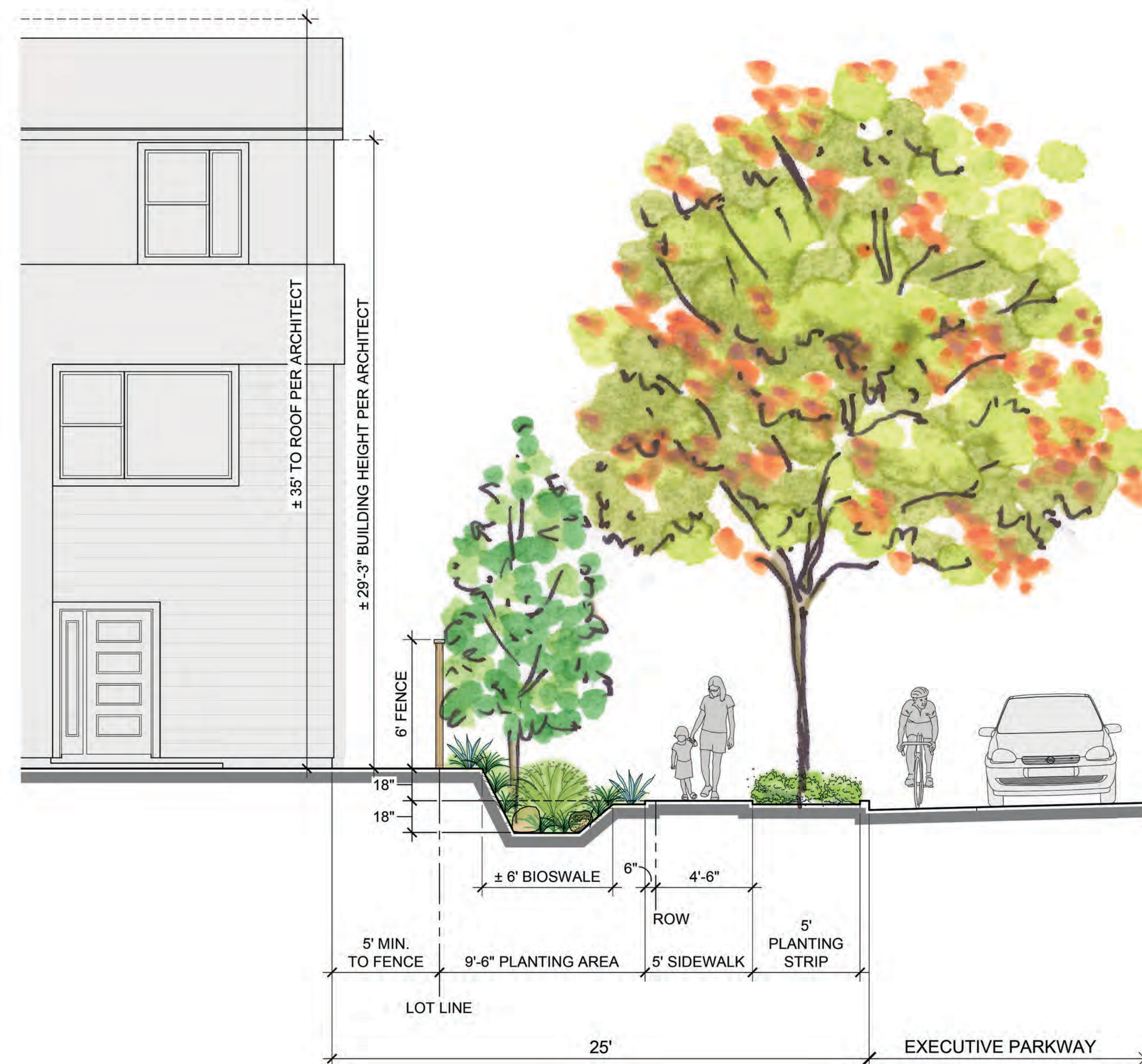
SECTION AT PARK PARCEL AT EXECUTIVE PARKWAY



KEY MAP



SECTION/ELEVATION COURTS AT EXECUTIVE PARKWAY

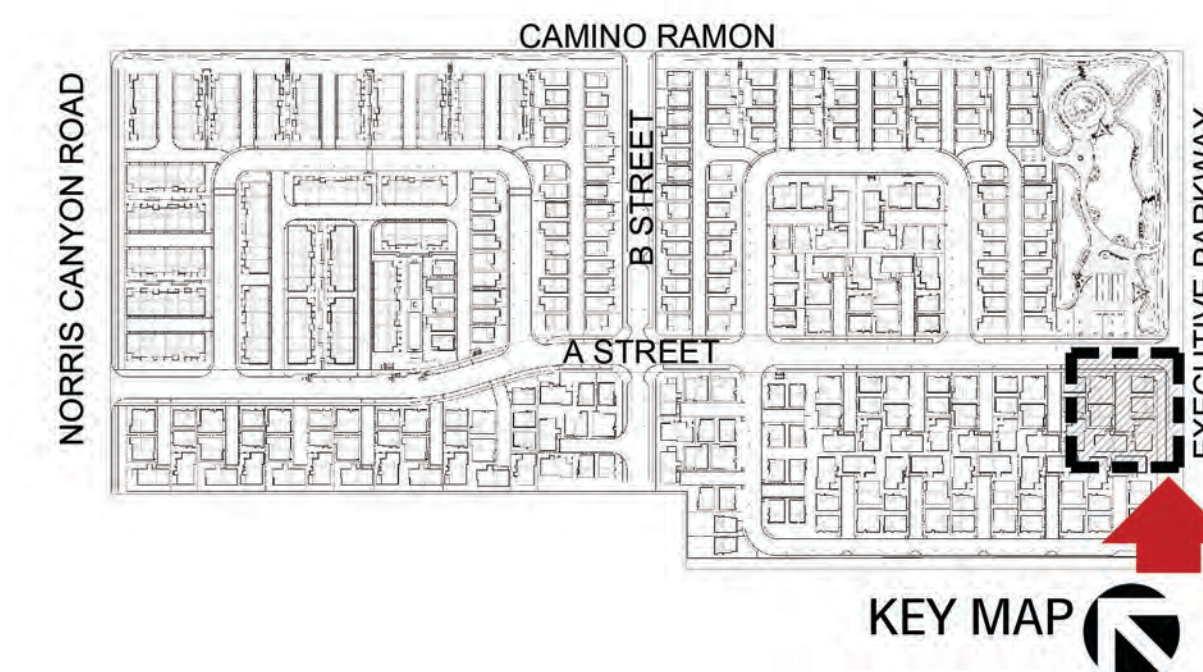


COURTS AT EXECUTIVE PARKWAY & A STREET

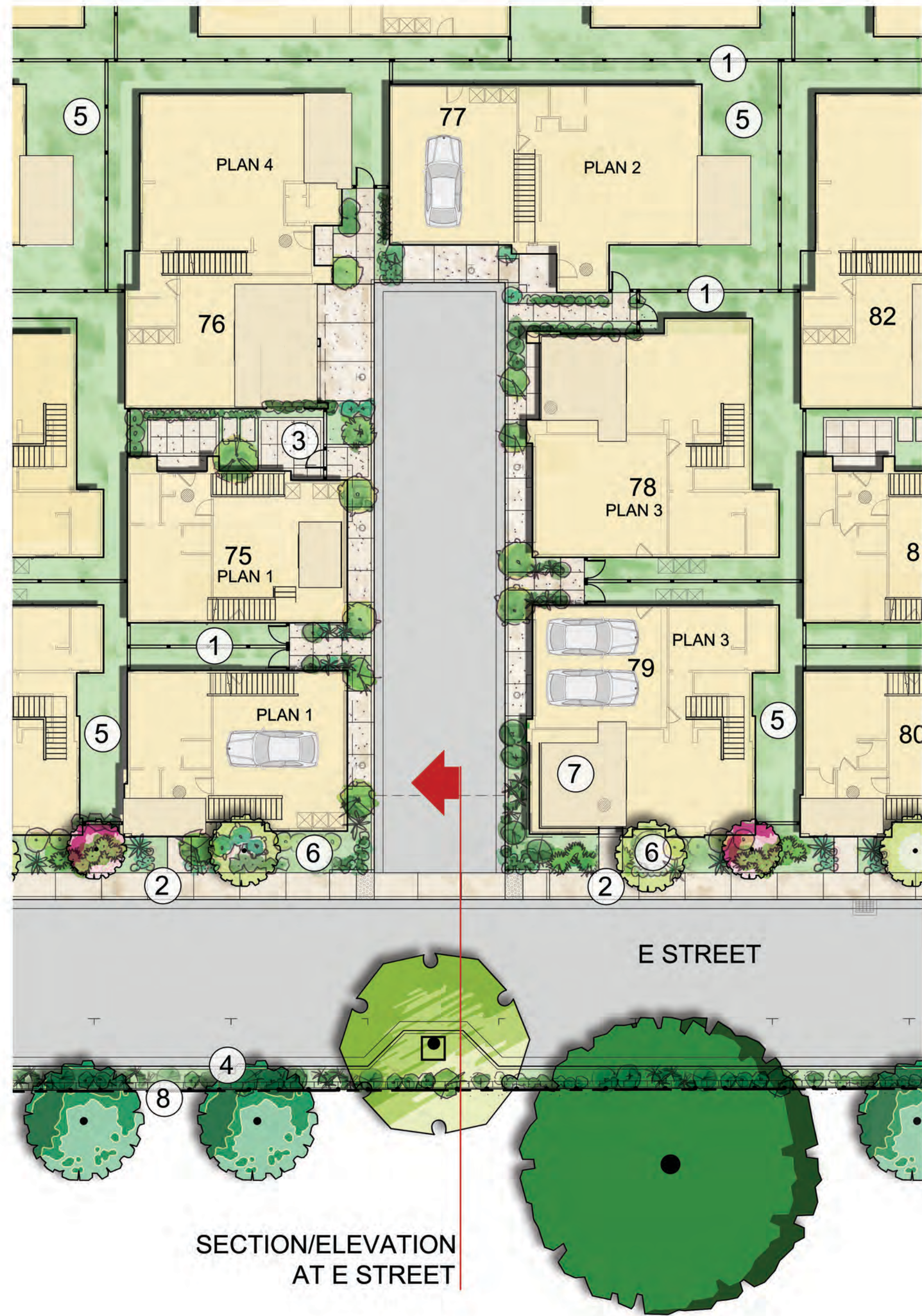
SECTION - COURTS AT EXECUTIVE PARKWAY & A STREET

● FRONT DOOR LOCATION, TYP.

- ① DECORATIVE HORIZONTAL WOOD SLAT GOOD NEIGHBOR FENCE AT SIDE YARDS/ REAR YARDS, TYP.
- ② SIDEWALK/ CONCRETE PAVING
- ③ ENTRY COURTYARD w/ DECORATIVE HORIZONTAL WOOD SLAT FENCE & GATE AND PAVING
- ④ PRIVATE YARD, TYP.
- ⑤ COMMON LANDSCAPE AREA, TYP.
- ⑥ PRIVATE DECK/BALCONY, TYP.

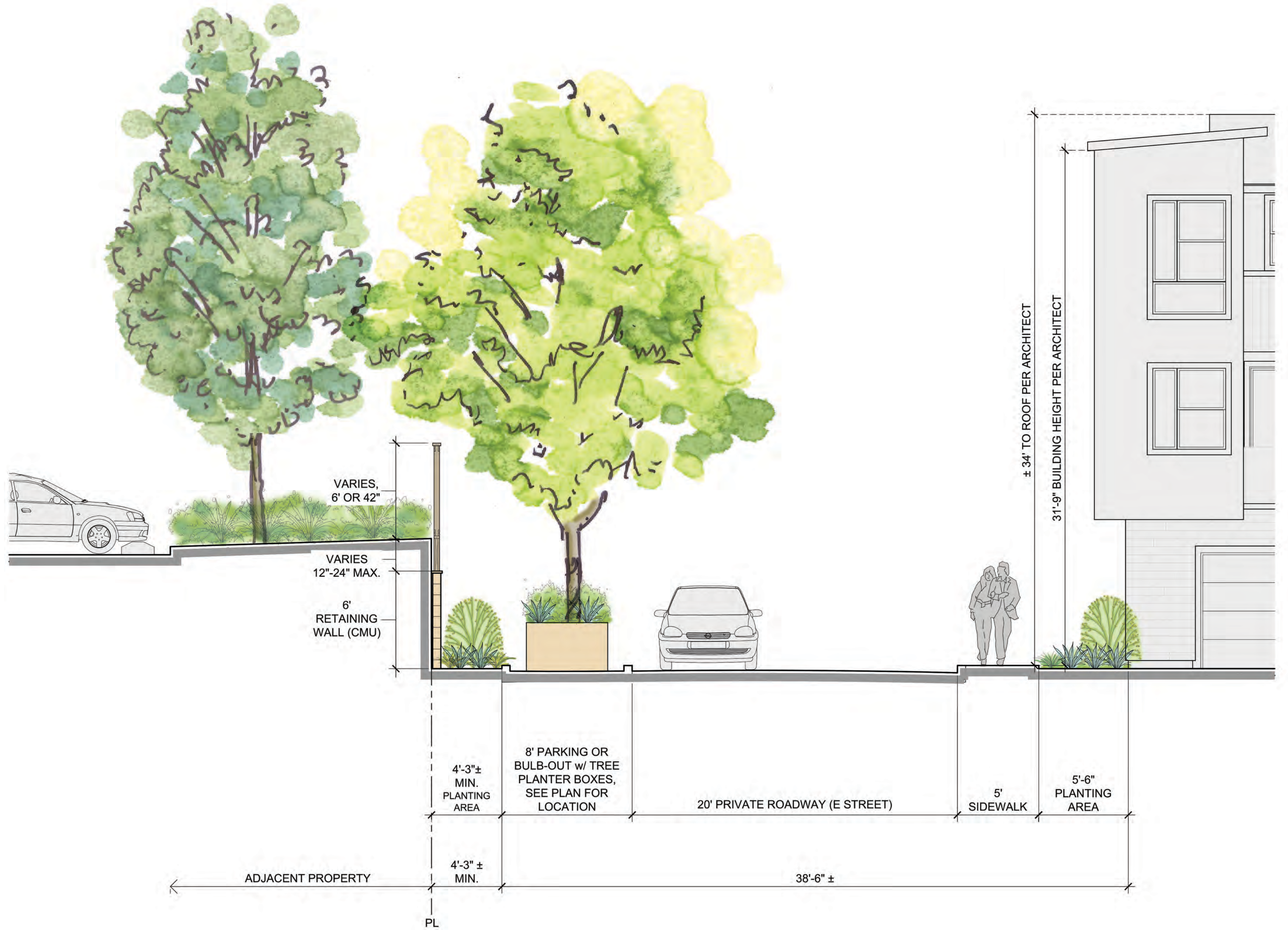
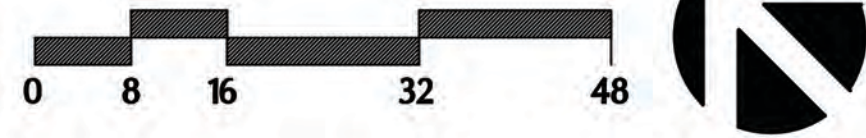




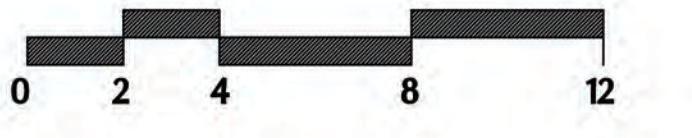


SECTION/ELEVATION AT E STREET

WEST PROPERTY LINE AT E STREET

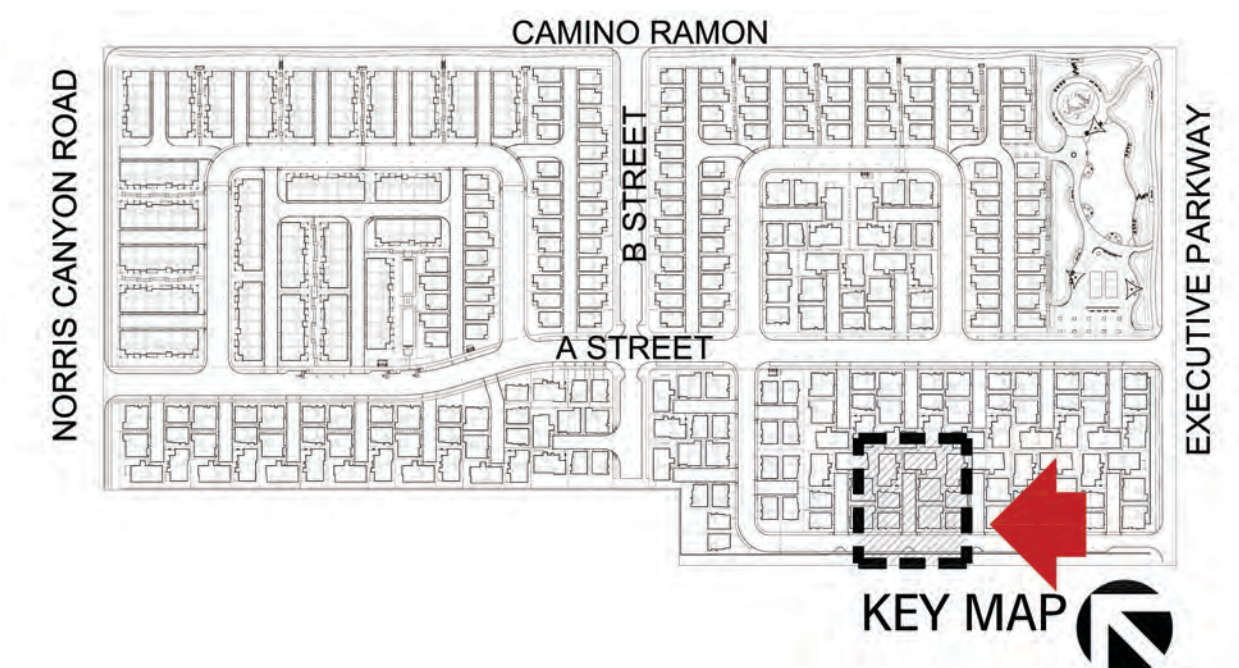


SECTION - WEST PROPERTY LINE AT E STREET



● FRONT DOOR LOCATION, TYP.

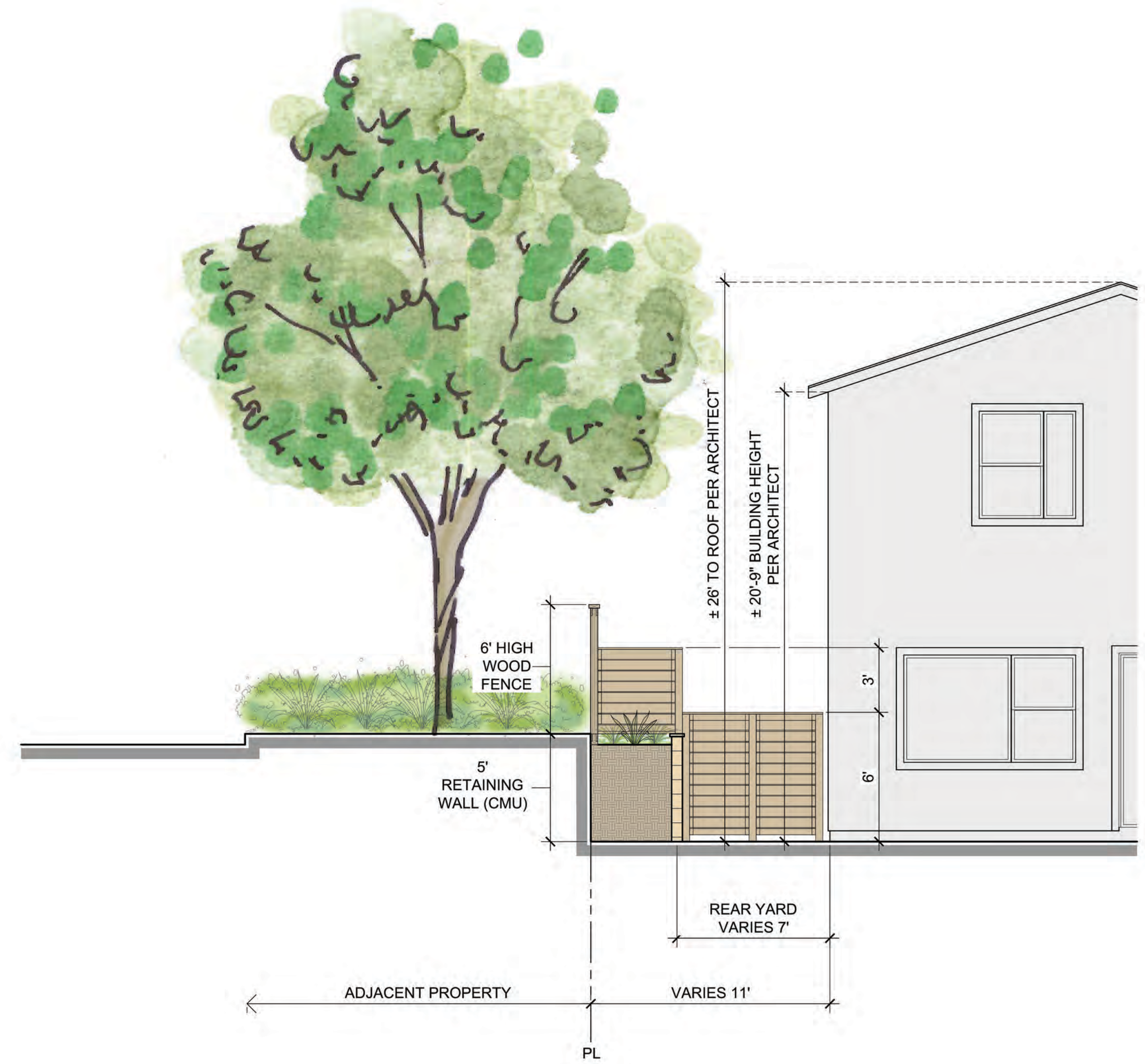
- ① DECORATIVE HORIZONTAL WOOD SLAT GOOD NEIGHBOR FENCE AT SIDE YARDS/ REAR YARDS, TYP.
- ② SIDEWALK
- ③ ENTRY COURTYARD W/ DECORATIVE HORIZONTAL WOOD SLAT FENCE & GATE AND PAVING
- ④ 6' RETAINING WALL (CMU)
- ⑤ PRIVATE YARD, TYP.
- ⑥ COMMON LANDSCAPE AREA, TYP.
- ⑦ PRIVATE DECK/BALCONY, TYP.
- ⑧ 42" FENCE W/ 2' KICKER





SECTION/ELEVATION AT WESTERN PL

COURTS AT WESTERN PROPERTY LINE

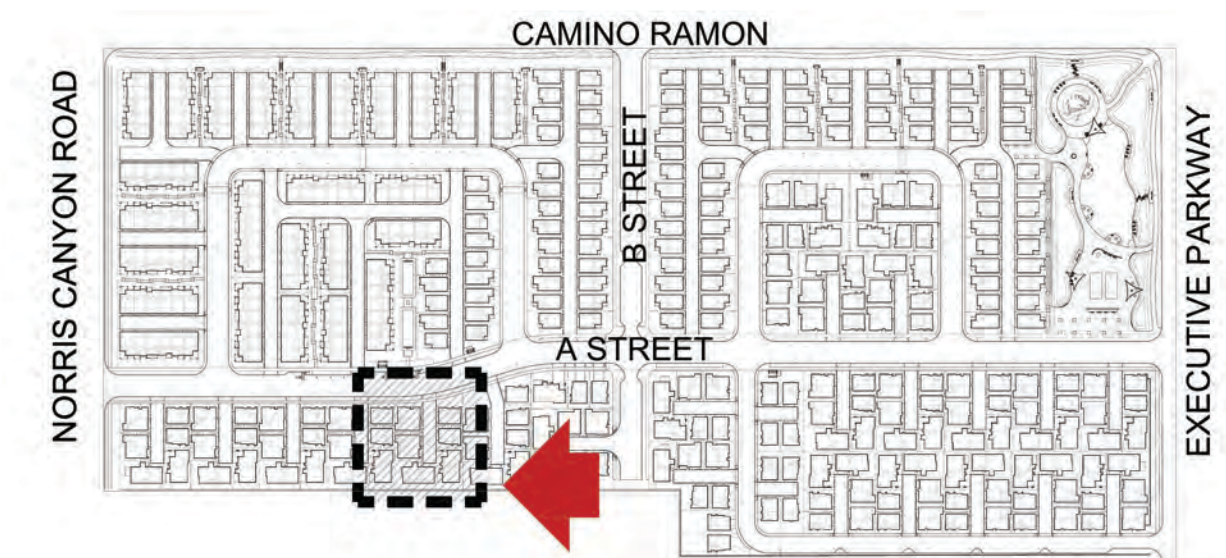


SECTION - COURTS AT WESTERN PROPERTY LINE

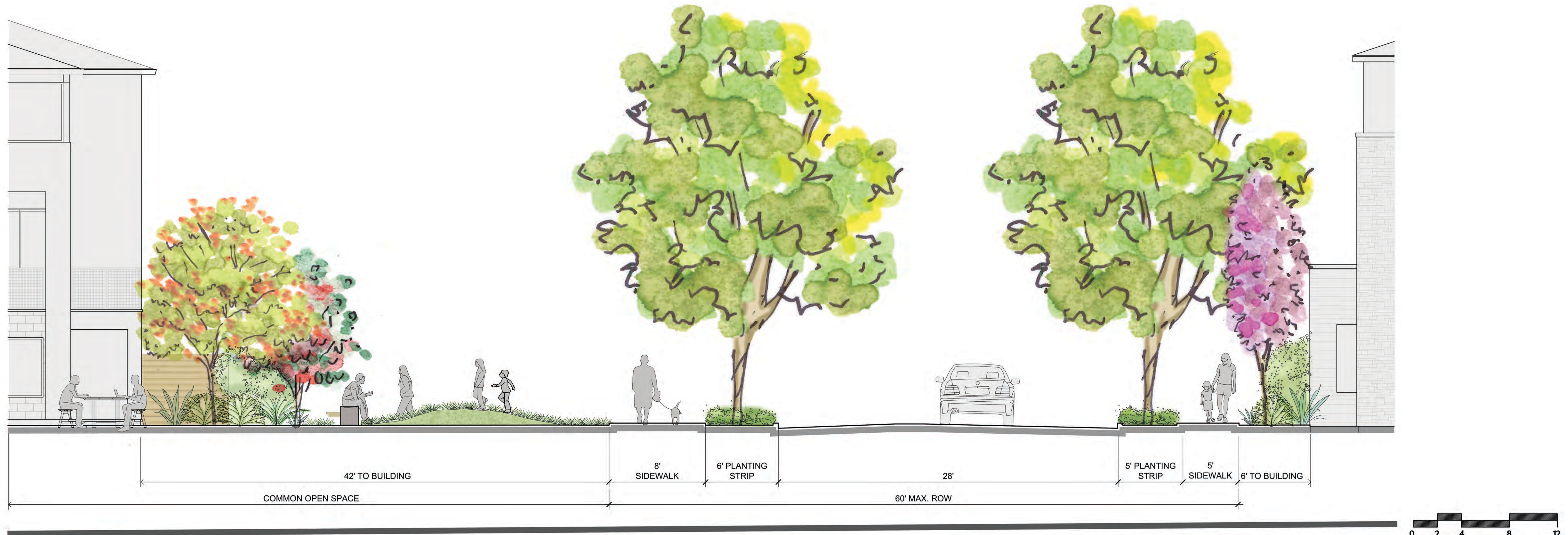


● FRONT DOOR LOCATION, TYP.

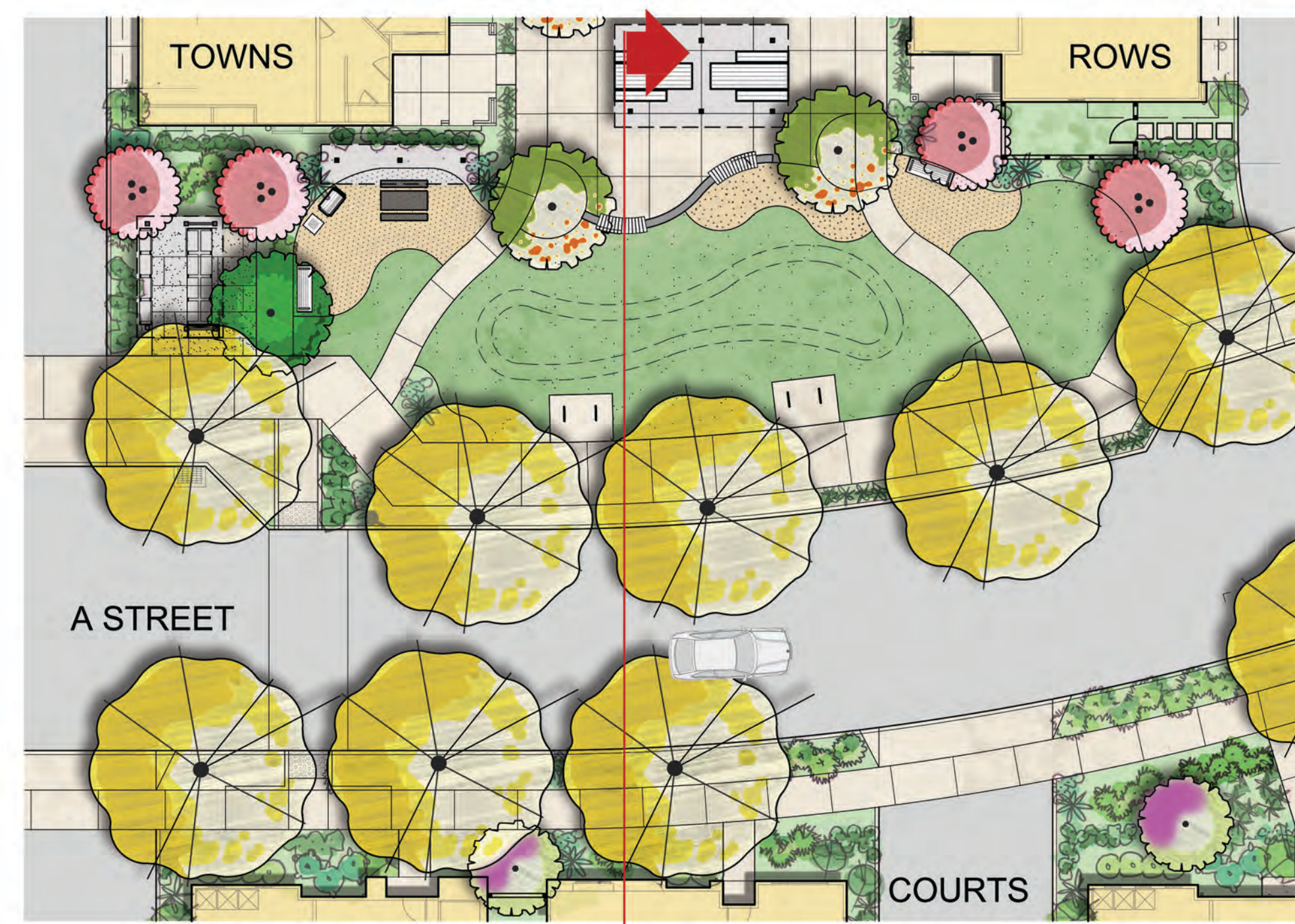
- ① DECORATIVE HORIZONTAL WOOD SLAT GOOD NEIGHBOR FENCE AT SIDE YARDS/ REAR YARDS, TYP.
- ② CONCRETE PAVING
- ③ ENTRY COURTYARD w/ DECORATIVE HORIZONTAL WOOD SLAT FENCE & GATE AND PAVING
- ④ 5' RETAINING WALL (CMU)
- ⑤ PRIVATE YARD, TYP.
- ⑥ COMMON LANDSCAPE AREA, TYP.
- ⑦ PRIVATE DECK/BALCONY, TYP.
- ⑧ 42" HIGH WOOD FENCE



KEY MAP

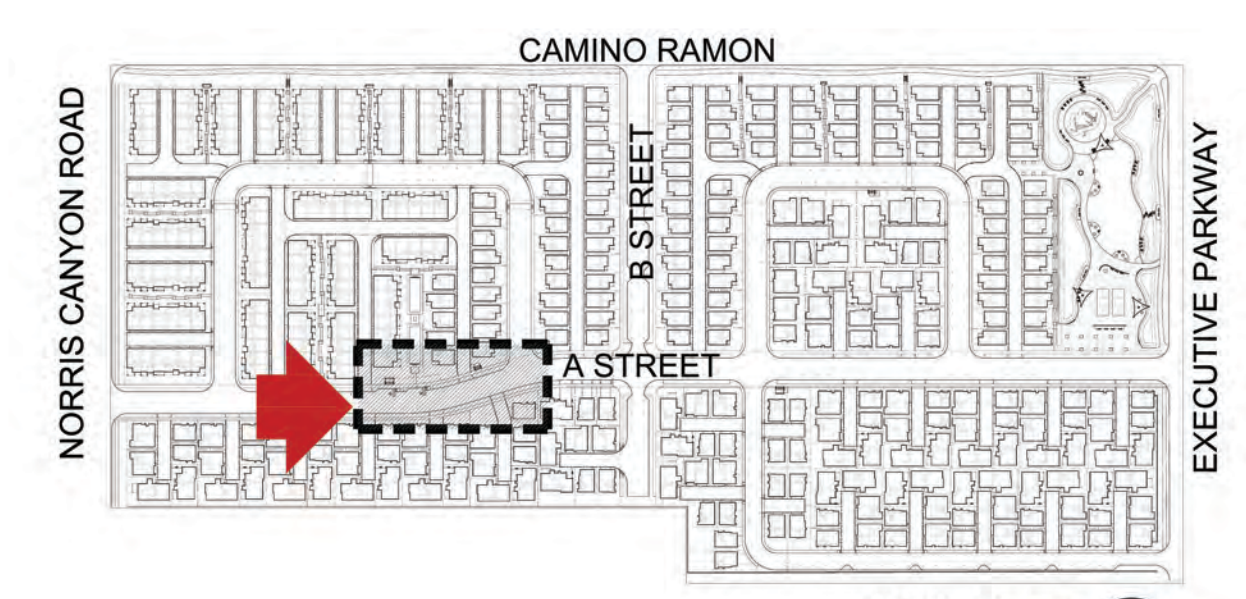


SECTION - A STREET AT COMMON OPEN SPACE



SECTION/ELEVATION A STREET

PLAN VIEW - A STREET AT COMMON OPEN SPACE



KEY MAP



Artists' conception. Please refer to plans for project specifications.

**CityVillage**

**SUMMERHILL HOMES™**  
COMMUNITIES OF DISTINCTION



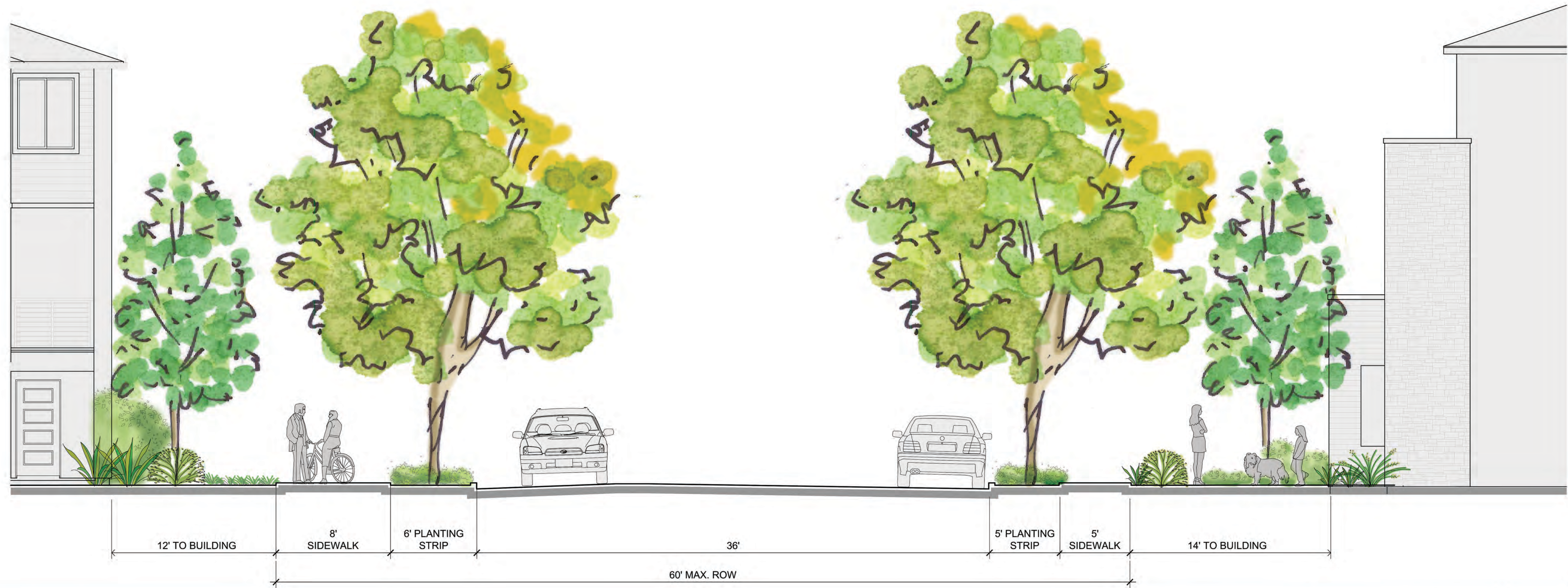
**LANDSCAPE**  
A STREET PERSPECTIVE

**L2.12**

AS NOTED ABOVE

CITY OF SAN RAMON, CA  
V2010 | 10-08-2021

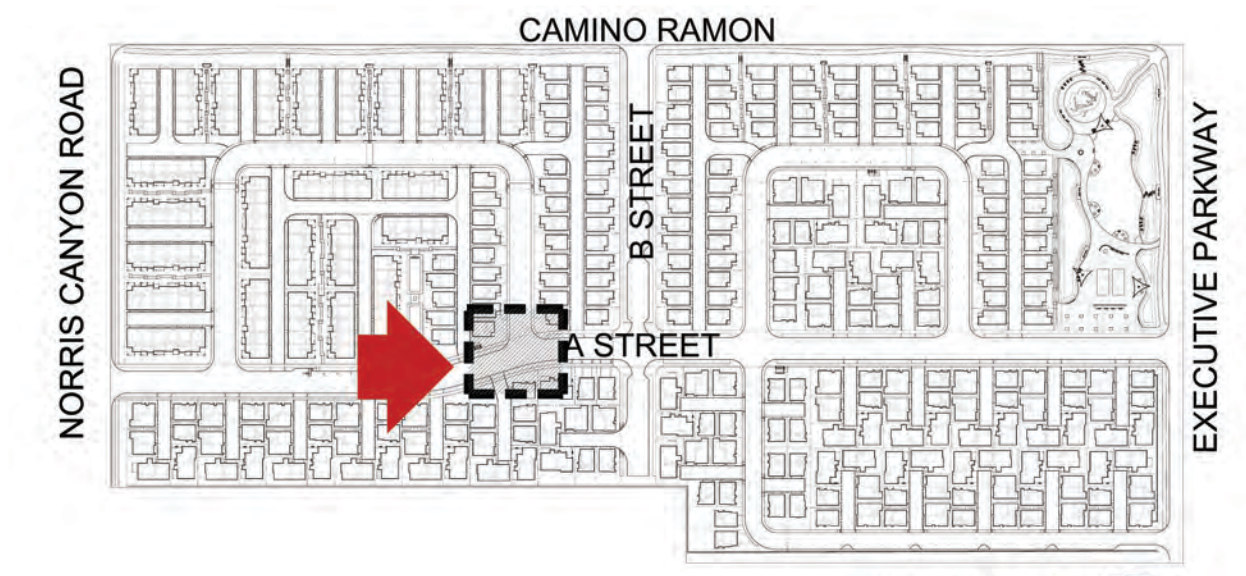
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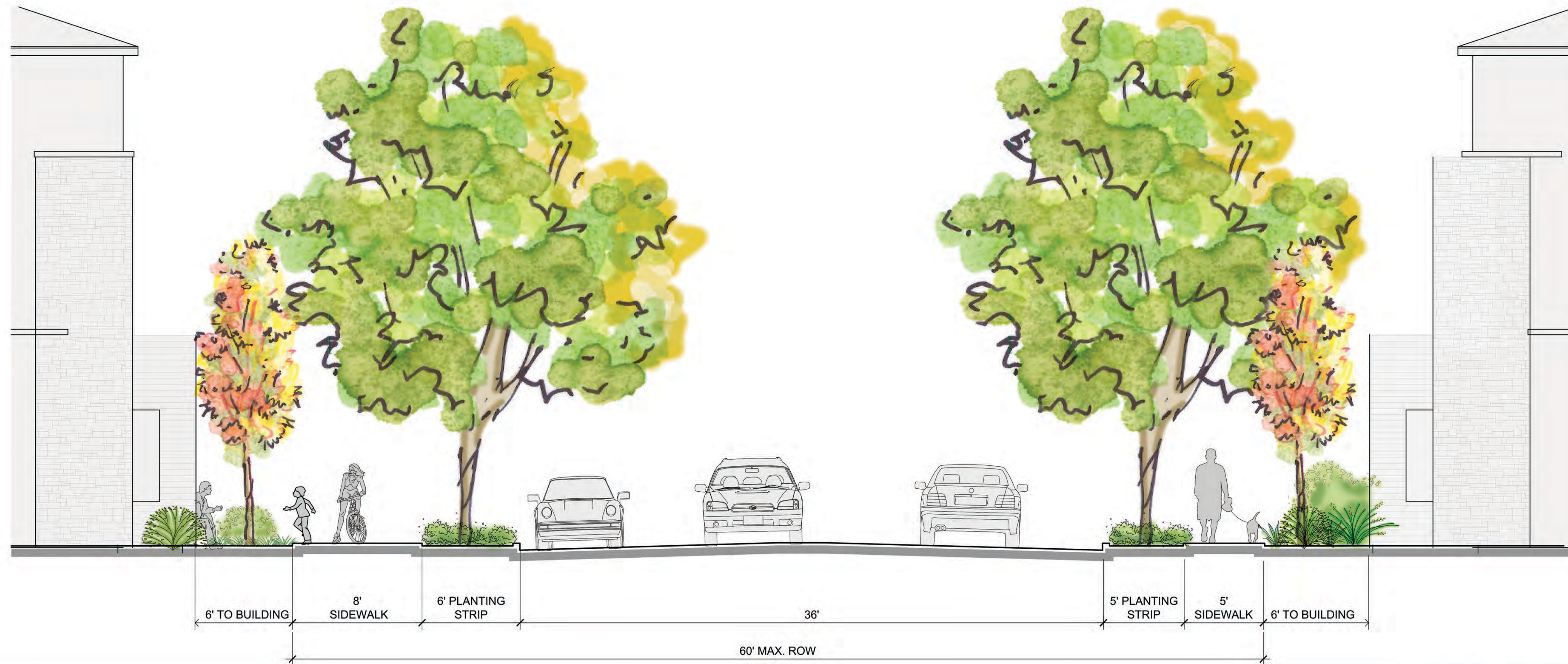
SECTION - A STREET (ROWS & COURTS)



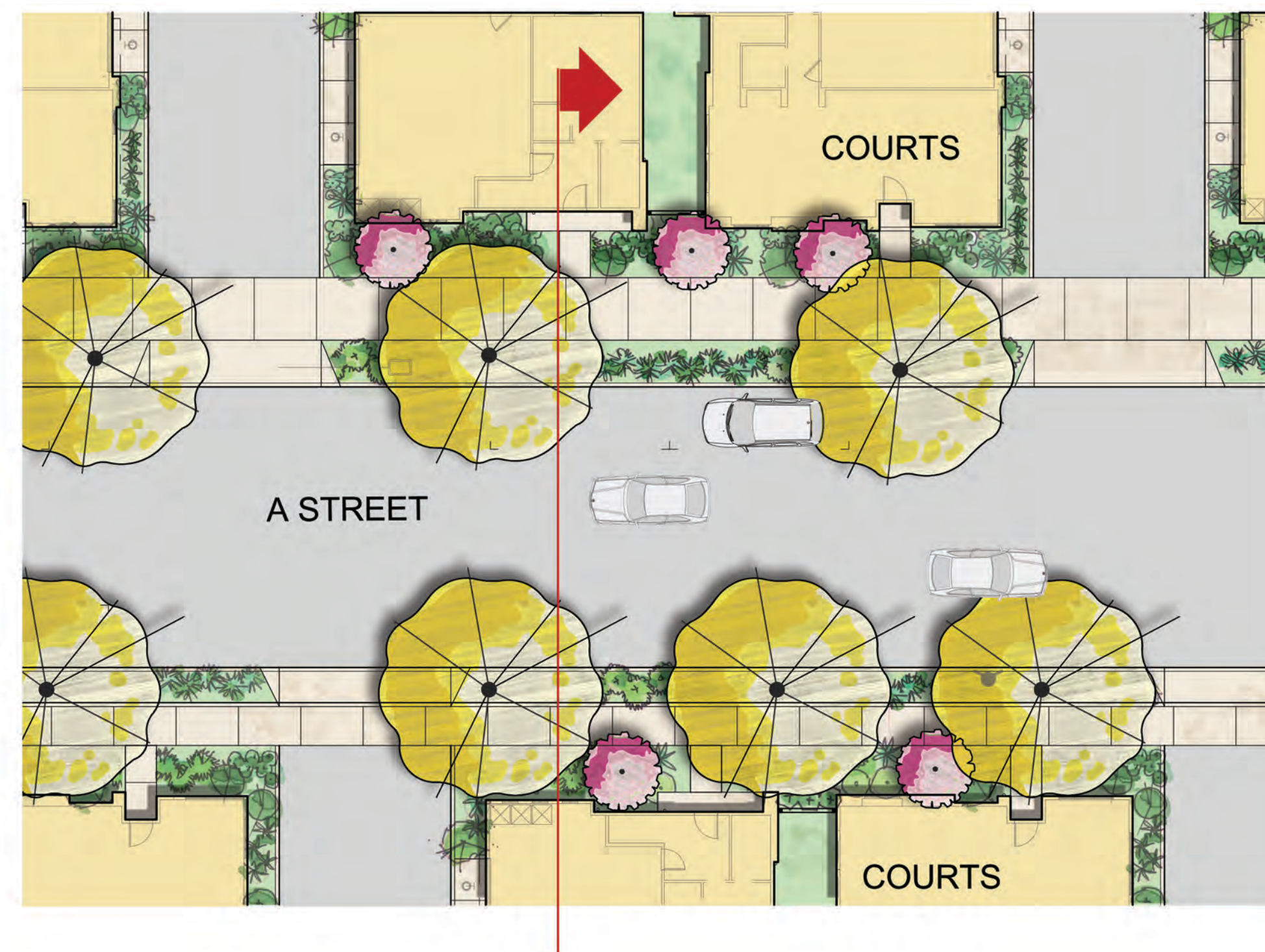
PLAN VIEW - A STREET (ROWS & COURTS)



KEY MAP



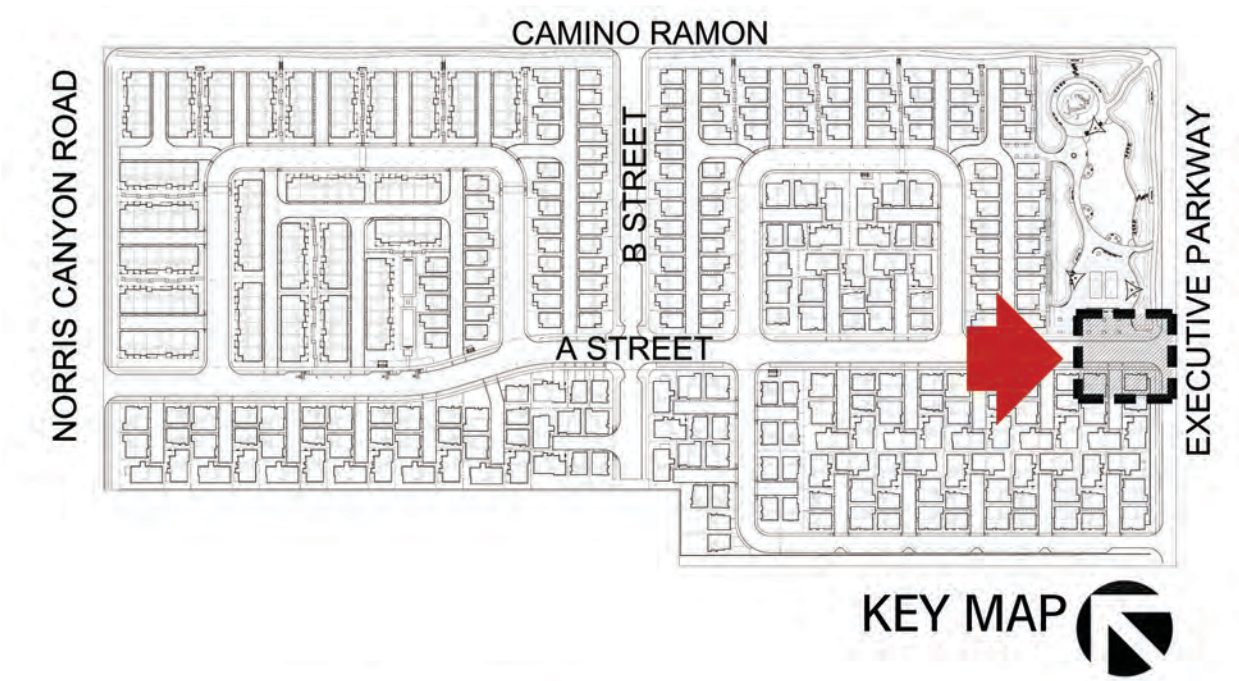
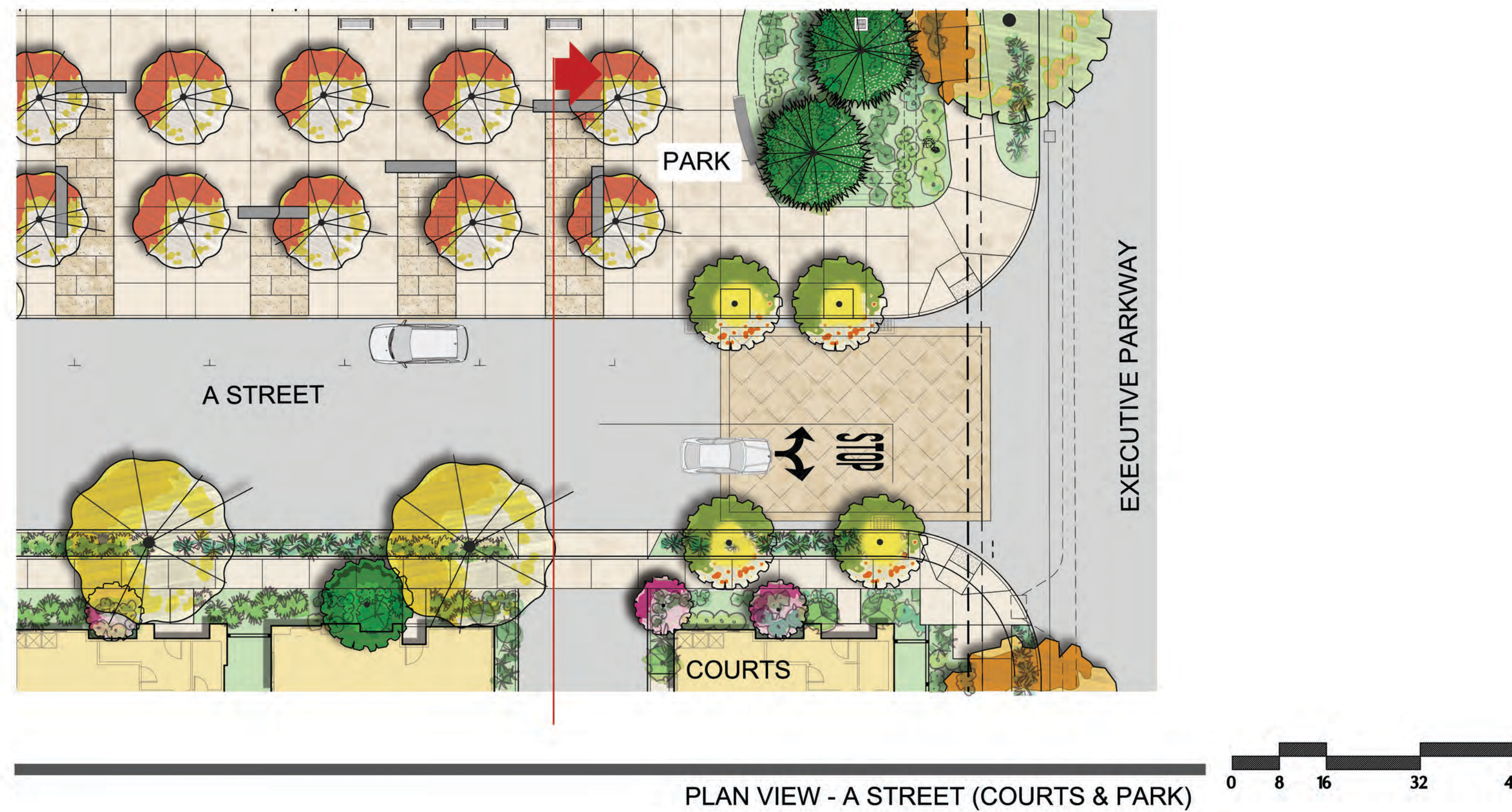
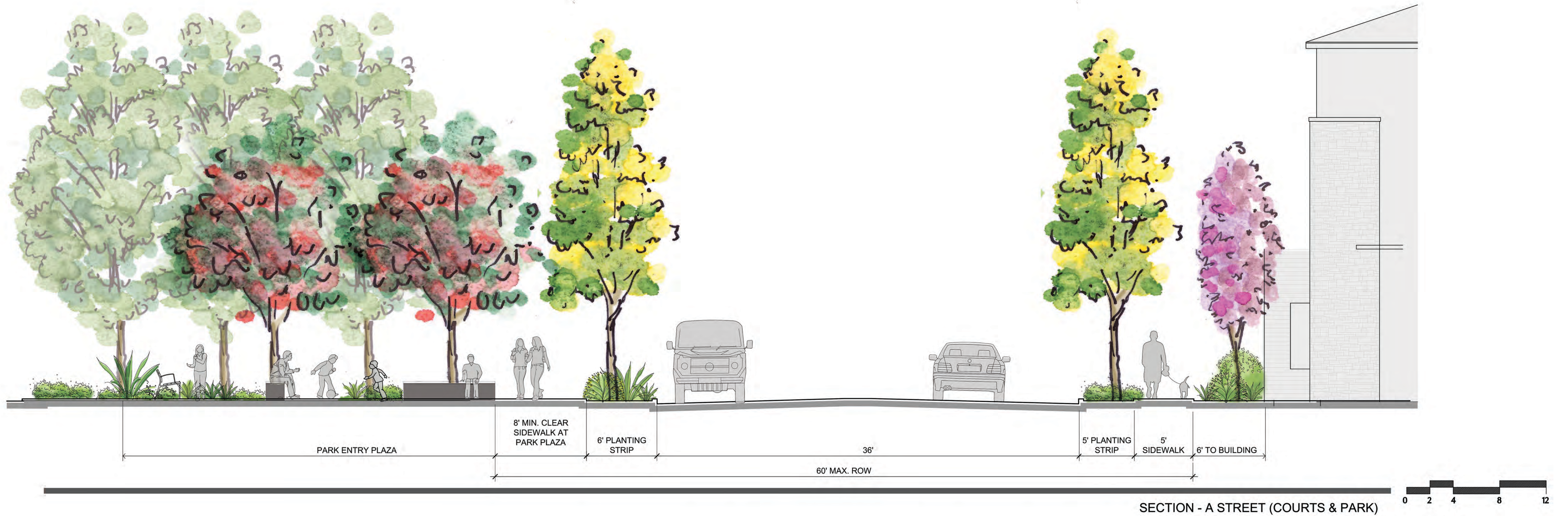
SECTION - A STREET (COURTS)



PLAN VIEW - A STREET (COURTS)



KEY MAP

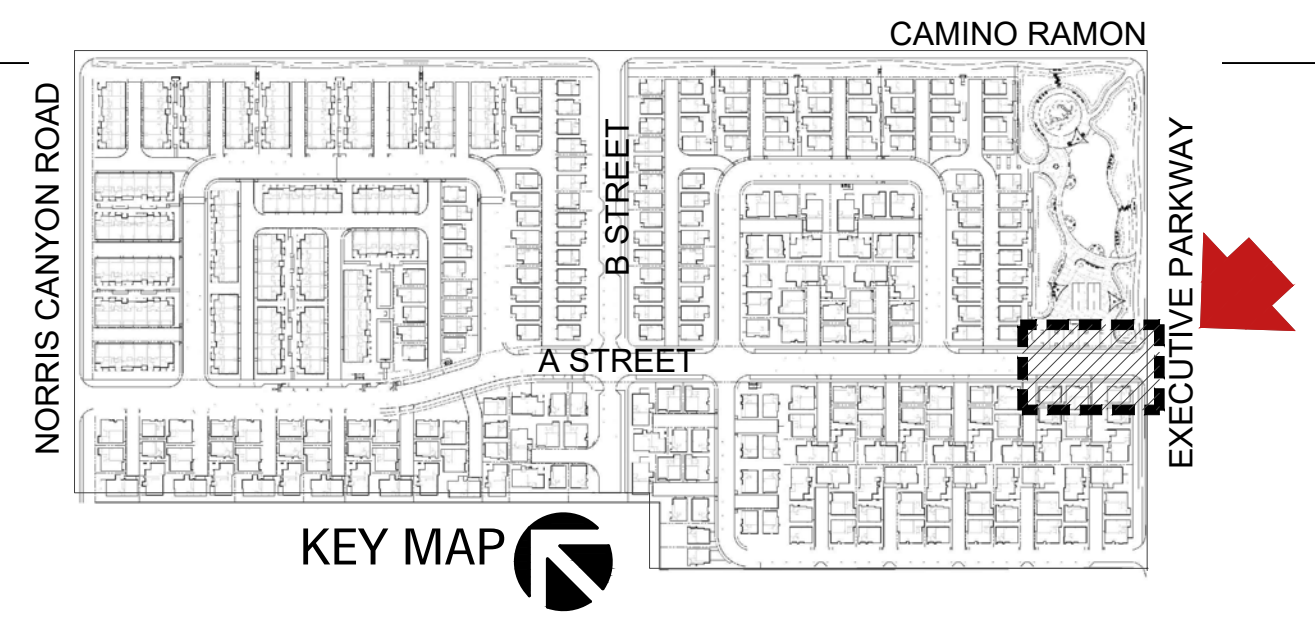




Artists' conception. Please refer to plans for project specifications.

**CityVillage**

**SUMMERHILL HOMES™**  
COMMUNITIES OF DISTINCTION



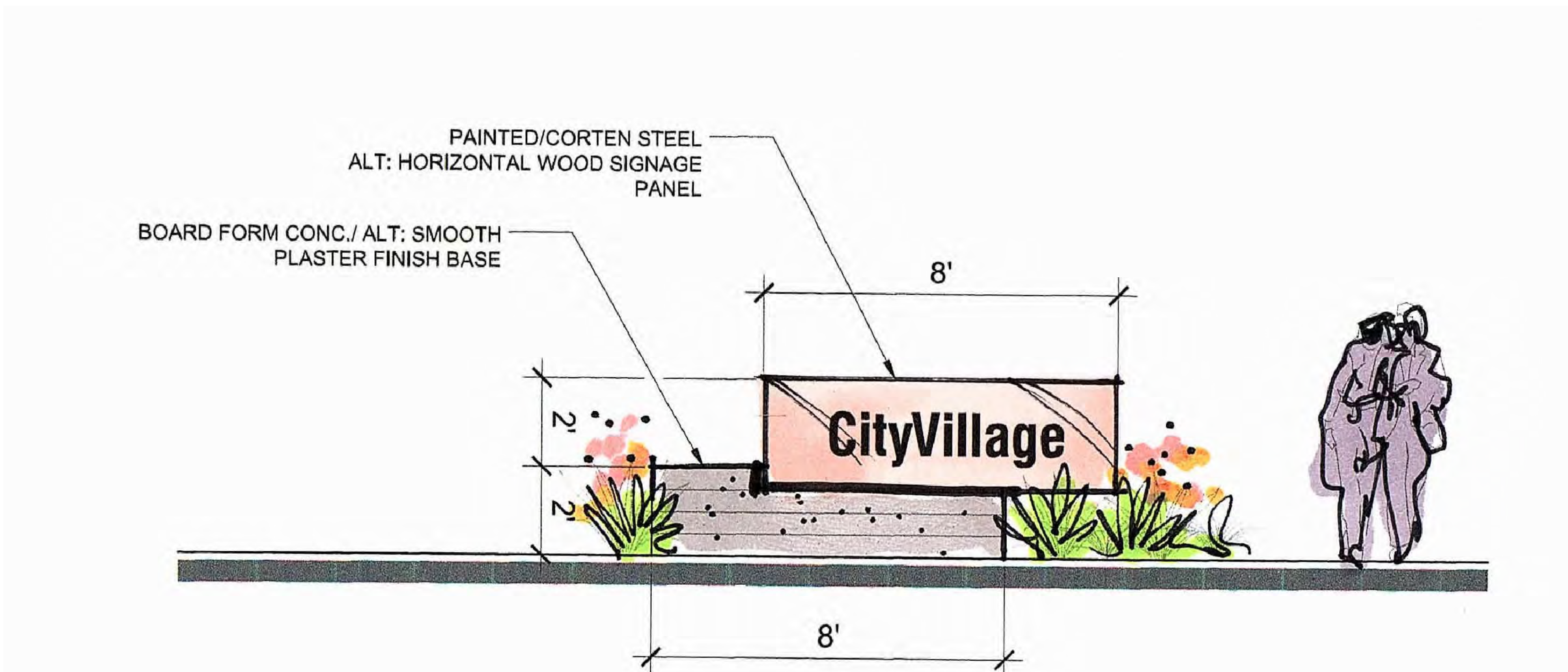
**LANDSCAPE**  
A ST. PERSPECTIVE @ EXECUTIVE PKWY

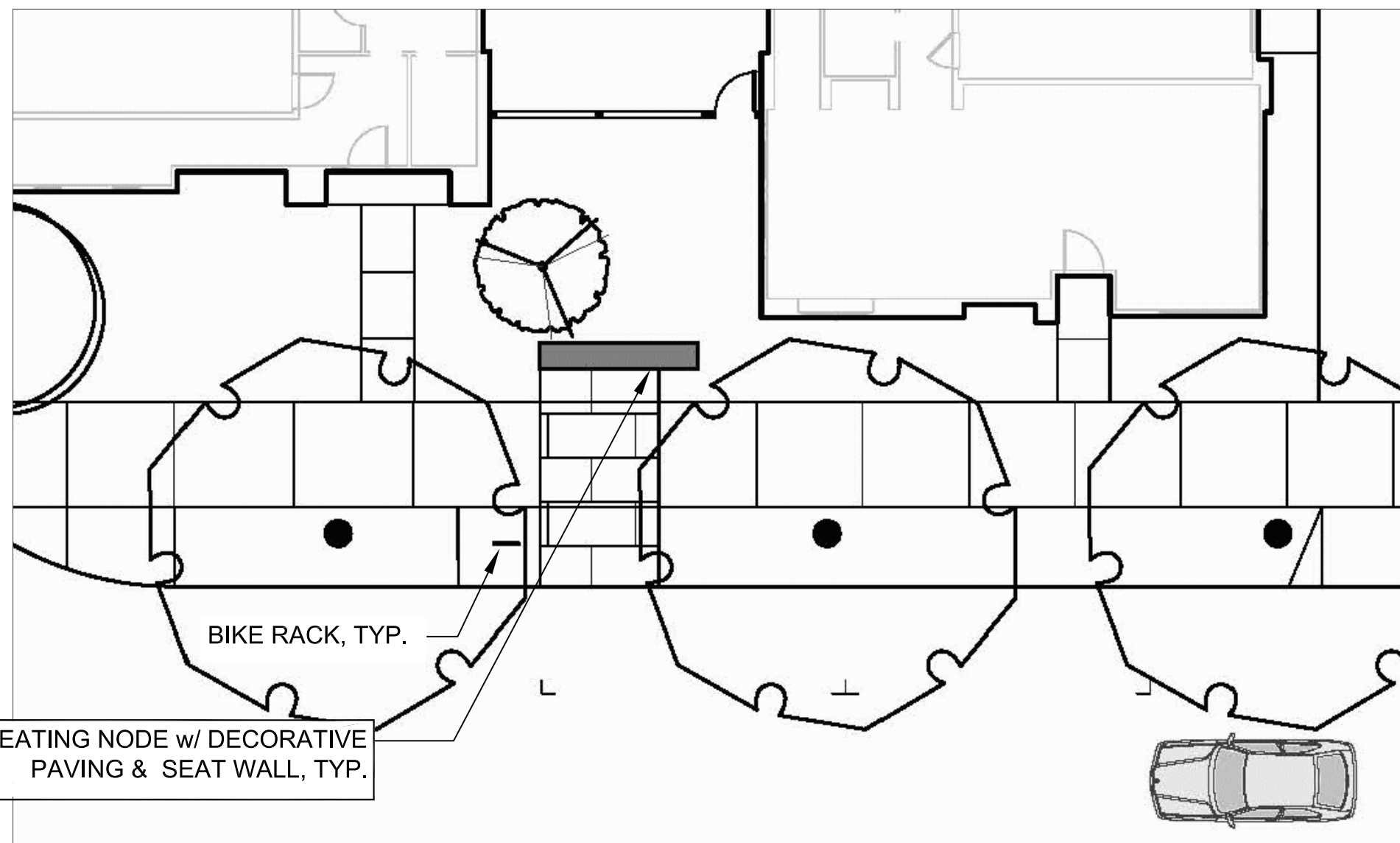
**L2.16**

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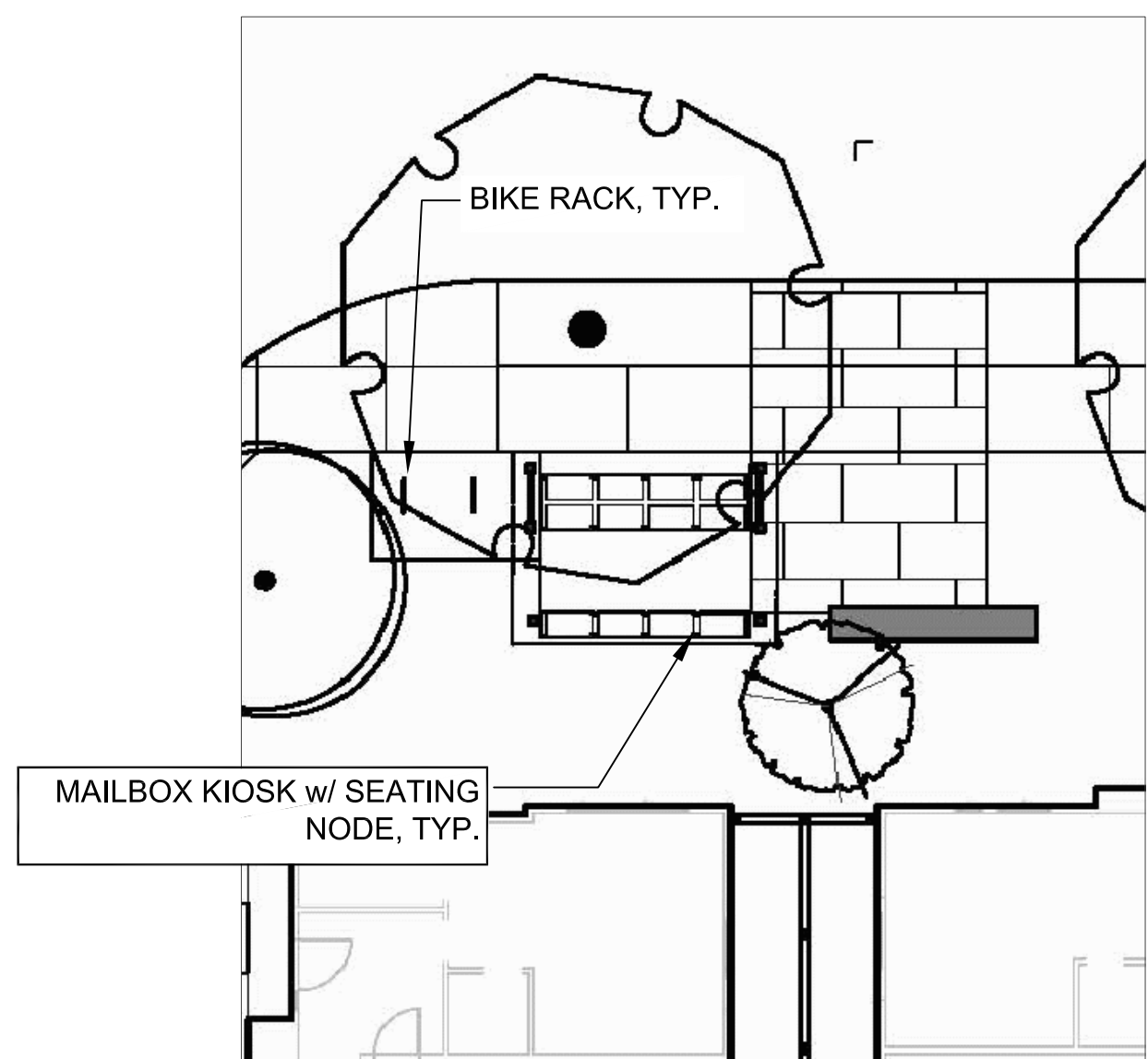
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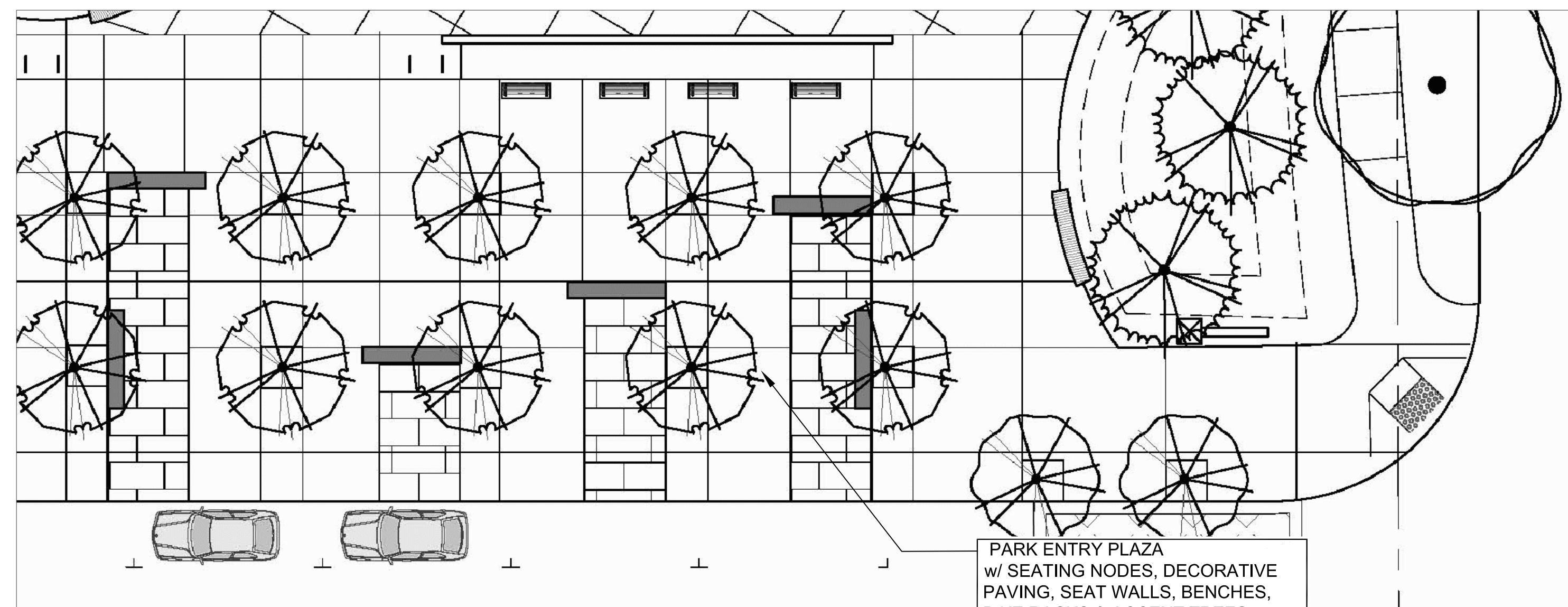




A STREET SEATING NODE



SEATING NODE AT MAILBOX KIOSK



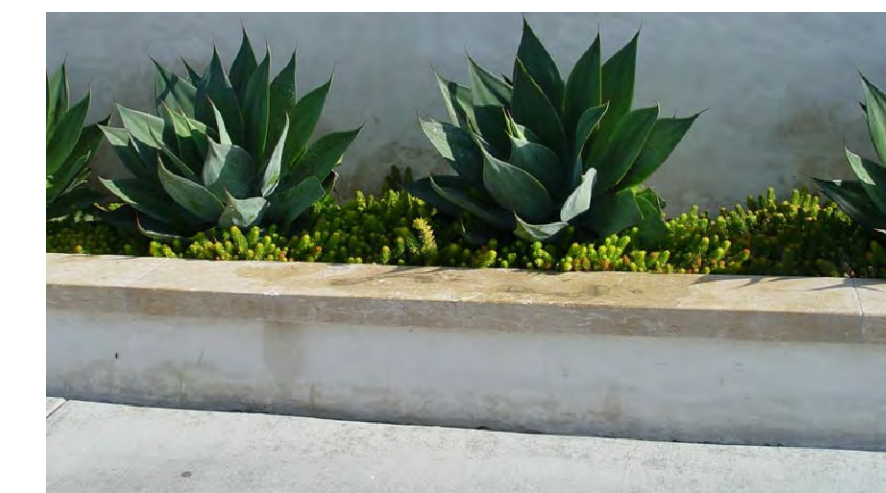
PARK PLAZA



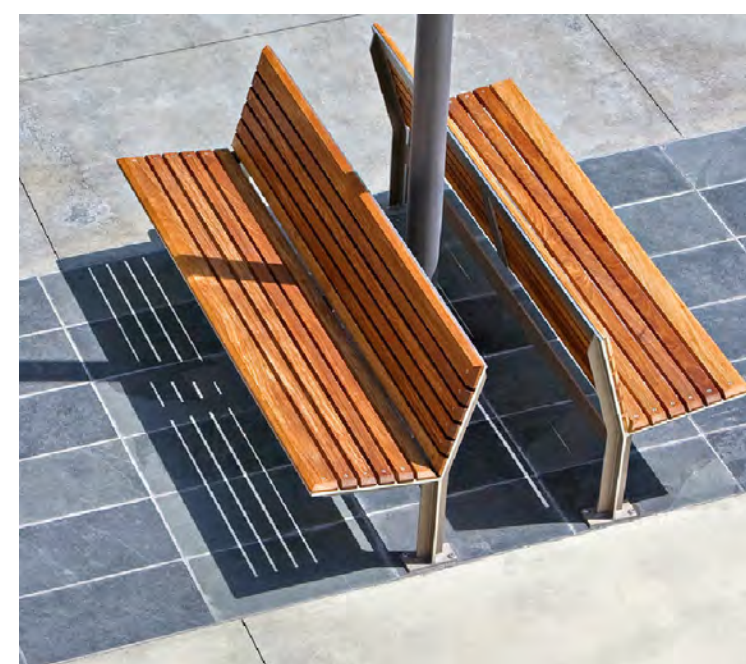
WALKWAYS



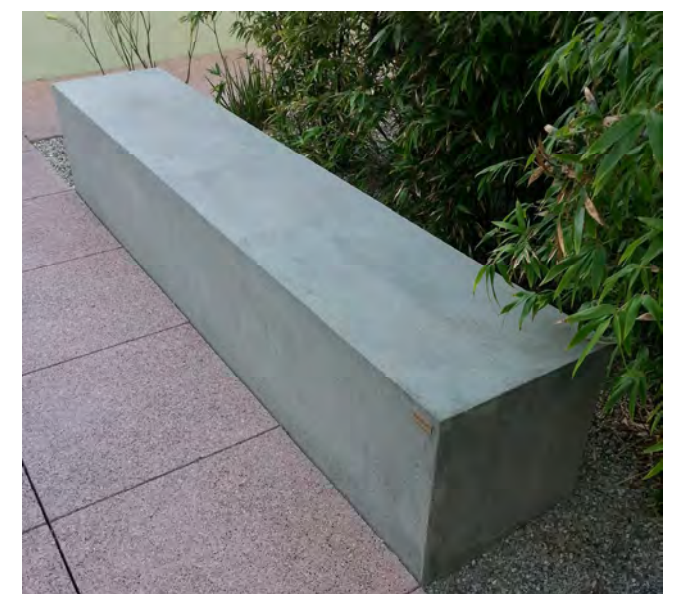
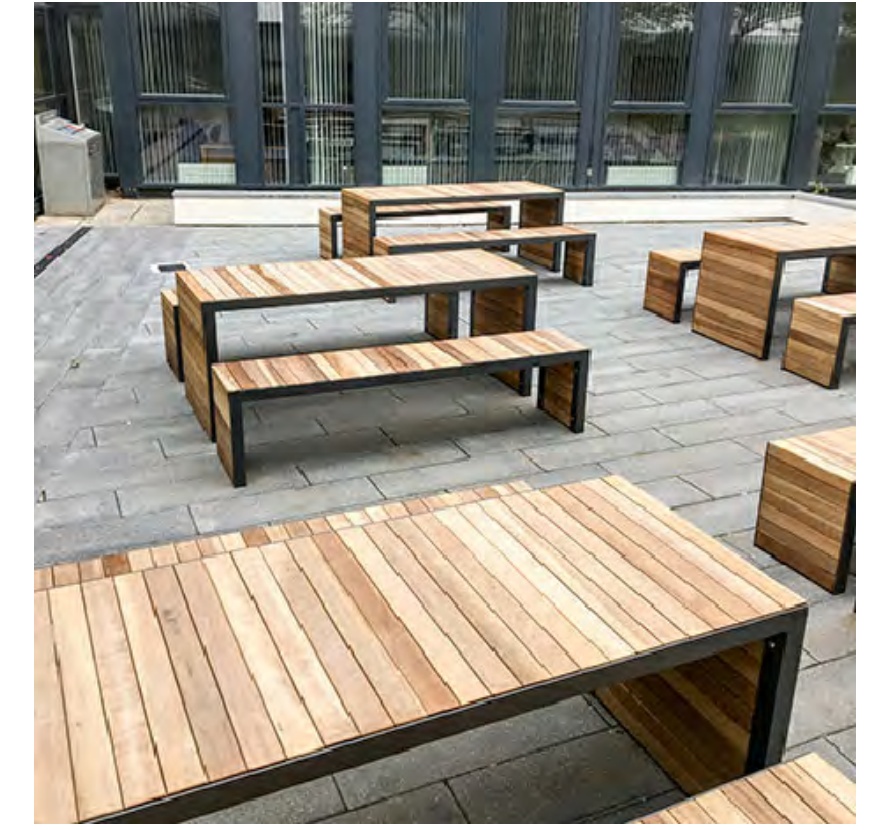
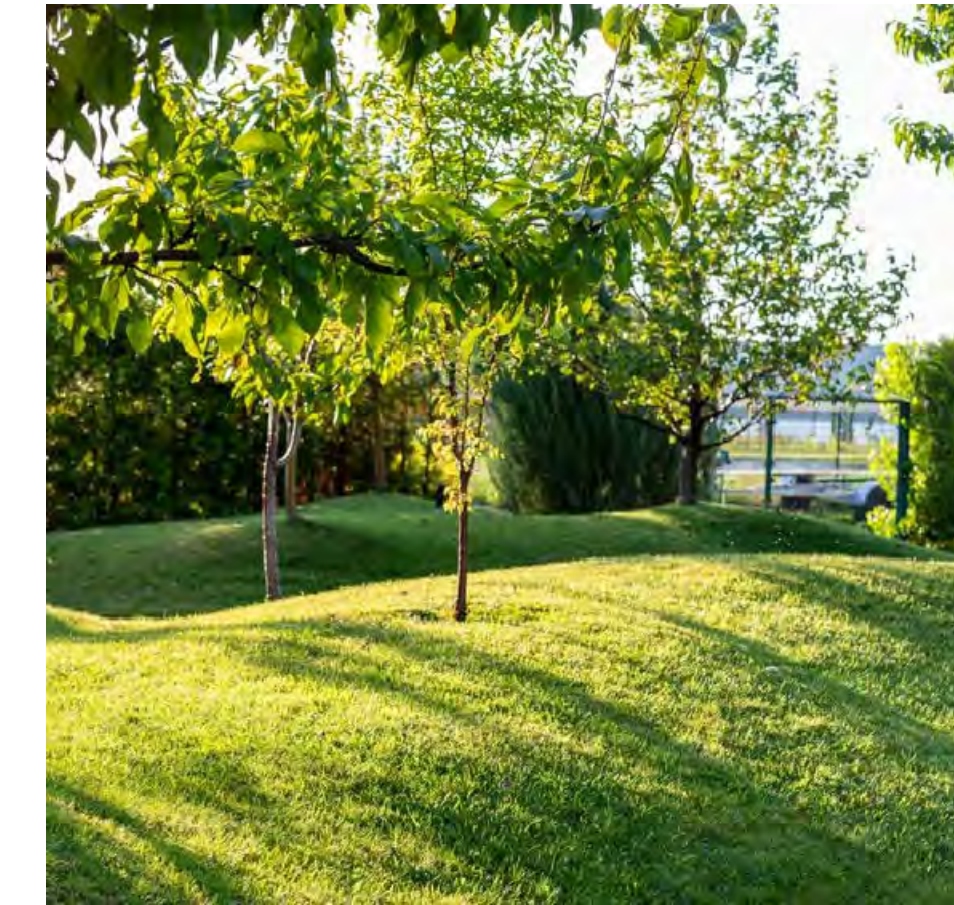
DECORATIVE FENCES, LANDSCAPE WALLS, & SEATWALLS



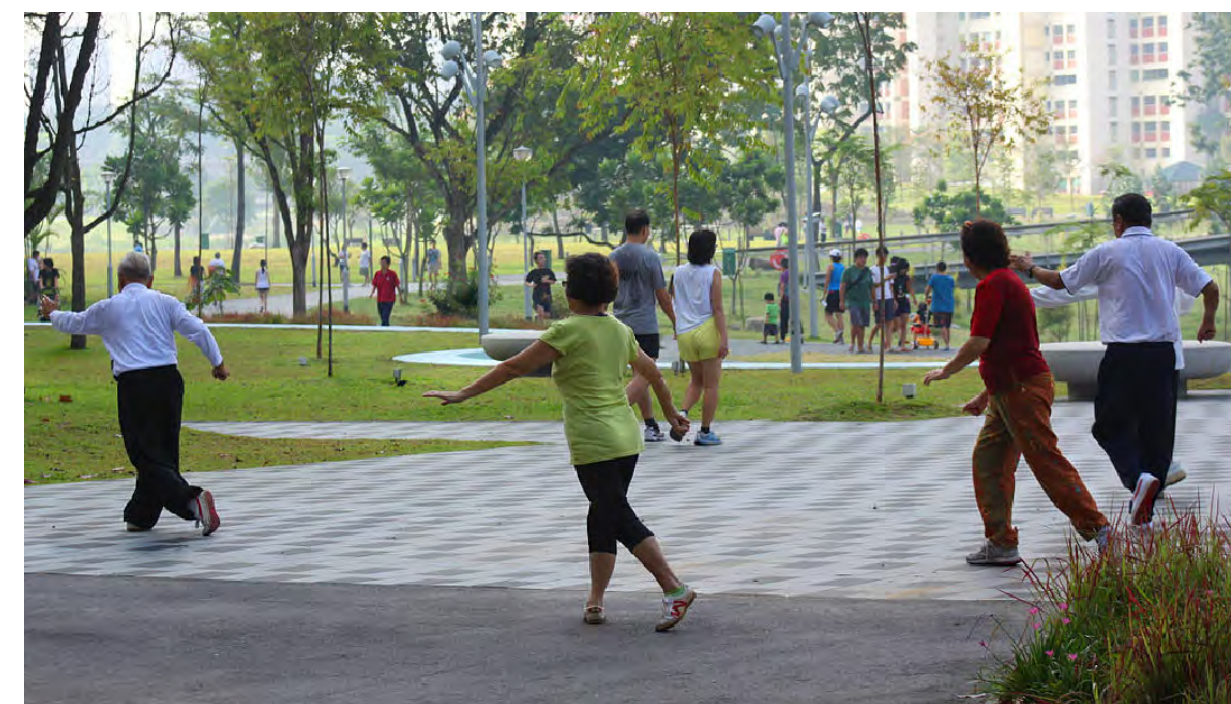
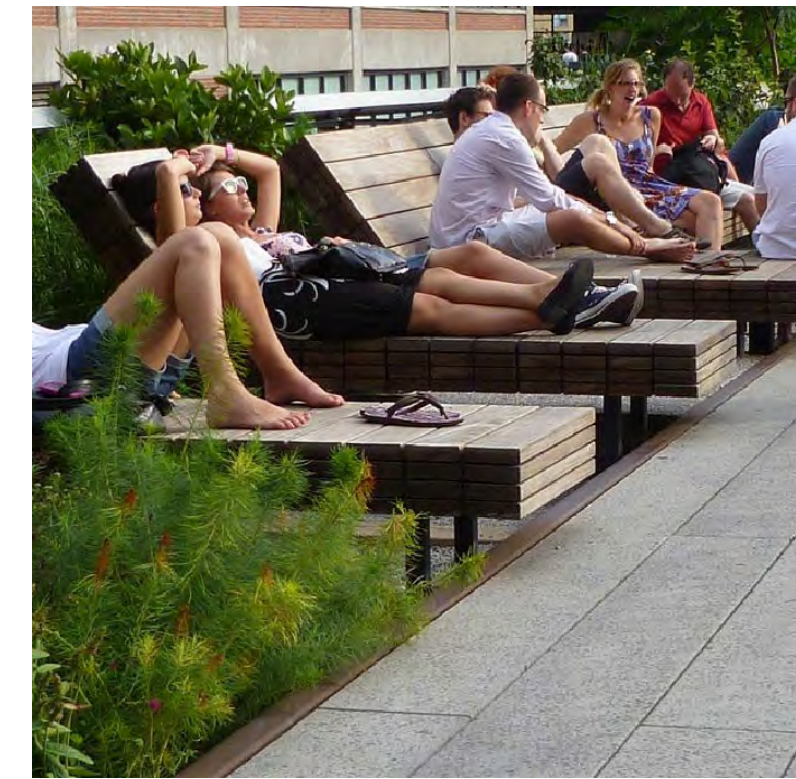
BENCHES



COMMON AREA OPEN SPACE AMENITIES



PARK AMENITIES



TREES

SHRUBS, GRASSES, GROUNDCOVER, VINES



Ginkgo biloba 'Princeton Sentry'



Pistacia chinensis



Acer palmatum 'Sango Kaku'



Acer rubrum 'Armstrong'



Fraxinus oxycarpa angustifolia



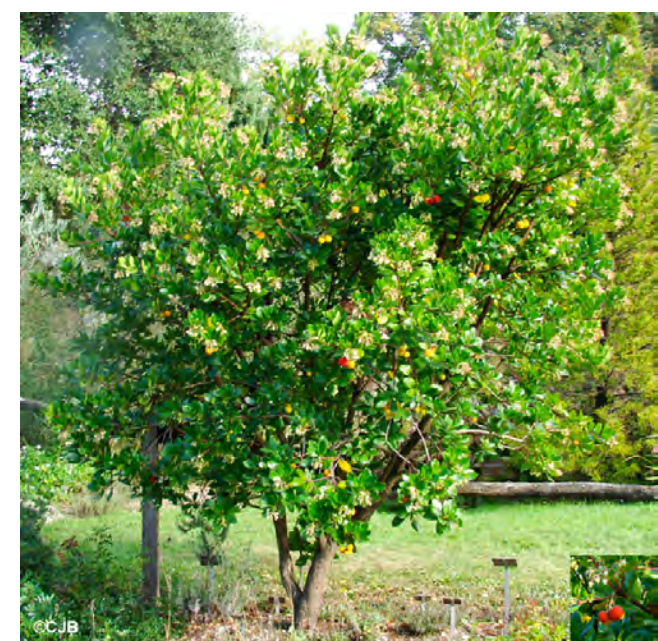
Cercis occidentalis



Ulmus parvifolia 'Drake'



Platanus Acerifolia Columbia



Arbutus unedo



Tipuana tipu



Koelreuteria elegans



Quercus Regal Prince



Prunus serrulata 'Amanogawa'



Anigozanthos x 'Bush Tango'



Arctostaphylos uva-ursi 'Woods Compact'



Baccharis pilularis 'Pigeon Point'



Berberis thunbergii



Callistemon citrinus 'Little John'



Cistus ladanifer



Diets bicolor



Escallonia compacta



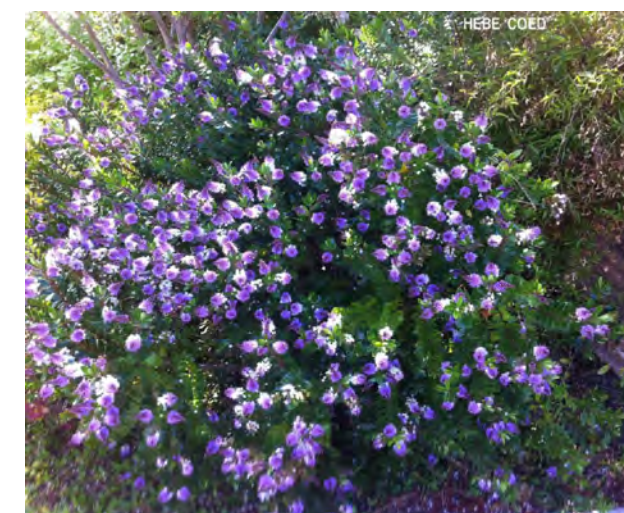
Grevillea hybrid 'Noellii'



Loropetalum chinense 'Shang-White'



leucadendron safari sunset



Hebe coed



Kniphofia 'Bees Sunset'



Liriope gigantea



Olea europaea 'Little Ollie'



Pittosporum species



Phormium species



Rosa californica



Rosa Iceberg (std)



Tagetes lemmonii



Westringia fruticosa



Gelsemium sempervirens



Pandorea jasminoides



Pennisetum alop. 'Little Bunny'



Carex testacea



Festuca glauca 'Elijah Blue'



Festuca mairei



Chondropetalum tect. 'El Campo'



Carex praegracilis 'Chisai'

## TREES

BOTANICAL NAME	COMMON NAME	CONT	GROWTH RATE	REMARKS
Acer palmatum 'Sango Kaku'	Coral Bark Japanese Maple	24" Box	Medium	3-5 years: 10'-15' H x 10'-15' W Mature Size: 15' H x 15' W
*Acer negundo 'Flamingo'	Flamingo Boxelder Maple	24" Box	Fast, Native	3-5 years: 20' H x 15' W Mature Size: 25' H x 20' W
Acer rubrum 'Armstrong'	Colmnar Red Maple	24" Box	Fast	3-5 years: 25' H X 10' W Mature Size: 45' H x 15' W
Arbutus unedo	Strawberry Tree	15 Gal	Medium	3-5 years: 6'-10' H x 5'-8' W Mature Size: 10' H x 10' W
Arbutus unedo 'Octoberfest'	Dwarf Strawberry Tree	15 Gal	Medium	3-5 years: 5' H x 6' W Mature Size: 6' H x 8' W
*Cercis occidentalis	Western Redbud	24" Box Multi	Medium, Native	3-5 years:10' H x 10' W Mature Size: 12'-15' H x 8'-10' W
Crataegus monogyna 'Stricta'	Upright Hawthorn	24" Box	Medium	3-5 years: 15'-20' H x 15'-20' W Mature Size: 25' H x 25' W
Fraxinus velutina 'Rio Grande'	Fan-Tex Ash	24" Box	Fast	3-5 years: 20'-30' H x 25'-30' W Mature Size: 30'-50' H x 20'x30' W
Fraxinus oxycarpa angustifolia	Raywood Ash	24" Box	Fast	3-5 years: 15'-20' H x 15'-20' W Mature Size: 25'-35' H x 25' W
Ginkgo Bilo. 'Princeton Sentry'	Princeton Sentry Ginkgo	24" Box	Slow	3-5 years: 20'-30' H x 10'-15' W Mature Size: 40' H x 10'-25' W
*Heteromeles Arbutifolia	Toyon	15 Gal	Medium, Native	3-5 years: 4'-8' H x 5'-7' W Mature Size: 6'-10' H x 6'-8' W
Jacarandra mimosifolia	Jacarandra	24" Box	Medium	3-5 years: 20'-30' H x 10'-20' W Mature Size: 25'-30' H x 15'-30' W
Koelreuteria elegans	Flamegold Rain Tree	24" Box	Medium	3-5 years: 20'-35' H x 15'-30' W Mature Size: 20'-40' H x 20'-35' W
Laurus 'Saratoga'	Saratoga Sweet Bay	24" Box	Slow	3-5 years: 10' H x 10' W Mature Size: 15'-35' H x 15'-30'W
Melaleuca nesophilla	Pink Melaleuca	24" Box	Medium	3-5 years: 10'-15' H x 10'-15' W Mature Size: 15'-20' H x 15'-20' W
Pistache chinensis	Chinese Pistache	24" Box	Fast	3-5 years: 20'-30' H x 20'-30' W Mature Size: 30'-60' H x 30'-60' W
Platanus acerifolia (Columbia)	London Plane Tree	24" Box	Fast	3-5 years: 25'-35' H x 25'-35' W Mature Size: 40'-80' H x 30'-40' W
Prunus cerasifera kruter versuvilus	Purple Leaf Plum	24" Box	Medium	3-5 years:15' H x 10' W Mature Size: 20' H x 15' W
Prunus serrulata 'Amanogawa'	Japanese Flowering cherry	24" Box	Medium	3-5 years:15'-20' H x 5'-6' W Mature Size: 20'-25' H x 4-8' W
*Prunus ilicifolia	Catalina Cherry	24" Box	Medium, Native	3-5 years: 12'-18' H x 8'-12' W Mature Size: 15'-25' H x 10'-15' W
Prunus serrulata 'Kwanzan'	Kwanzan Flowering Cherry	24" Box	Medium	3-5 years: 15'-20' H x 10'-20' W Mature Size: 20'-25' H x 15'-20'W
Punica granatum	Flowering Pomegranate	15 Gal	Slow	3-5 years: 8'-10' H x 8'-10' W Mature Size: 10' H x 10' W
Quercus Ilex	Holly Oak	24" Box	Medium	3-5 years: 20'-25' H x 20'-25' W Mature Size: 30'-60' H x 30'-60' W
Quercus 'Regal Prince'	Regal Prince Oak	24" Box	Medium	3-5 years: 20'-25' H x 15' W Mature Size: 30' H x 20' W
Quercus robur 'Fast. Skyrocket'	Skyrocket Oak	24" Box	Medium	3-5 years: 20'-30' H x 10' W Mature Size: 40' H x 15' W
*Quercus kelloggii	California Black Oak	24" Box	Medium, Native	3-5 years: 20'-30' H x 20'-30' W Mature Size: 30'-50' H x 30'-50' W
Quercus suber	Cork Oak	24" Box	Medium	3-5 years: 20'-30'H x 15' W Mature Size: 30'-60' H x 30'-60' W
Tipuana tipu	Tipu Tree	24" Box	Fast	3-5 years: 20'-30' H x 20'-30' W Mature Size: 25'-40' H x 30'-60' W
Ulmus parvifolia 'Drake'	Drake Chinese Elm	24" Box	Fast	3-5 years: 20'-30' H x 20'-35' W Mature Size: 35'-45' H x 35'-50' W

### NOTES:

1. THIS PLANT LIST IS SUBJECT TO CHANGE, WITH ADDITIONS AND REMOVALS ANTICIPATED IN RESPONSE TO CHANGING URBAN AND ENVIRONMENTAL CONDITIONS, PLANT PESTS AND/ OR DISEASE AND NURSERY AVAILABILITY.

### LEGEND:

\* - DENOTES CALIFORNIA NATIVE PLANTS

## SHRUBS, GRASSES, GROUNDCOVER, VINES

BOTANICAL NAME	COMMON NAME	SIZE	GROWTH RATE	REMARKS	BOTANICAL NAME	COMMON NAME	SIZE	GROWTH RATE	REMARKS
*Achimillea millefolium	Yarrow	1 Gal	Medium, Native	3-5 years: 1'-2' H x 1'-2' W Mature Size: 2'-3' H x 2'-3' W	Phormium tenax `Yellow Wave`	New Zealand Flax	5 gal	Medium	3-5 years: 3' H x 3' W Mature Size: 4' H x 4' W
Acorus gramineus 'Orgon'	Golden Yellow Sweet Flag	1 Gal	Fast	3-5 years: 1' H x 1' W Mature Size:12" H x 12" W	Pittosporum tob. 'Wheeler's Dwarf'	Japanese Mock Orange	5 Gal	Medium	3-5 years: 3' H x 4' W Mature Size: 4'-5' H x 4'-6' W
Anigozanthos x `Bush Tango`	Orange Kangaroo Paw	1, 5 Gal	Medium	3-5 years: 2'-3' H x 2'-3' W Mature Size: 2'-3' H x 2'-3' W	Podocarpus macrophyllum 'Maki'	'Shrubby Yew	15 Gal	Medium	3-5 years: 8' H X 3' W Mature Size: 10'-15' H x 4'-6' W
Arcostaphylos densiflora	Vine Hill Manzanita	5 Gal	Medium, Native	3-5 years: 2' H x 6' W Mature Size: 5'-8' H x 7' W	Olea europaea (Little Ollie)	Little Ollie Olive	15 Gal	Medium	3-5 years: 4' H x 4' W Mature Size: 4'-6' H x 4'-6' W
Arctostaphylos Pacific Mist	Pacific Mist Manzanita	5 Gal	Medium, Native	3-5 years: 2' H x 6' W Mature Size: 2'-3' H x 6'-15' W	Rhapiolepis ballerina	Indian Hawthorn	5 Gal	Medium	3-5 years: 2' H x 4' W Mature Size: 3' H x 4'-5' W
Aster Little Carlow	Little Carlow Aster	5 Gal	Fast	3-5 years: 2' H x 2' W Mature Size:1.5'-2' H x 1.5'-2' W	Rhapiolepis umbellata 'Minor'	Yedda Hawthorn	5 Gal	Medium	3-5 years: 4' H x 4' W Mature Size: 4'-6' H x 4'-6' W
Baccharis pilularis 'Pigeon Point'	Pigeon Point Baccharis	5 Gal	Medium, Native	3-5 years: 2' H x 6' W Mature Size: 1'-2' H x 8'-10" W	* Rosa californica	California Wildrose	1 Gal	Medium, Native	3-5 years: 6' H x 8' W Mature Size: 8'-10' H x 10' W
Berberis thunbergii	Japanese Barberry	5 Gal	Medium	3-5 years: 3'-5' H x 4'-8' W Mature Size: 5' H x 8' W	Rosa floribunda `Iceberg`	Iceberg Rose (FL)	5 Gal	Fast	3-5 years: 4' H x 3' W Mature Size: 4'-6' H x 3'-5' W
Callistemon citrinus `Little John`	Dwarf Bottle Brush	5 Gal	Medium	3-5 years: 2'-3' H x 4'-5' W Mature Size: 3' H x 4'-5' W	Rosa Rugosa	Pink Rugosa Rose	5 Gal	Fast	3-5 years: 4' H x 4' W Mature Size: 4'-8' H x 4'-6' W
*Carex pansa	California meadow sedge	1 Gal	Medium, Native	3-5 years: 1' H x spreading Mature Size: 6"-1.6" H x spreading	* Sedum spathulifolium califlora	Yellow Stonecrop	5 Gal	Medium, Native	3-5 years: 1' H x 1' W Mature Size: 1.2'-8.4' H x 1'-3' W
Carex praegracilis 'Chisai'	Sedge	1 Gal	Fast	3-5 years: 1' H x 1' W Mature Size: 1' H x 1' W	Sesleria autum. 'Campo Verde'	Moor Grass	5 Gal	Fast	3-5 years: 8" H x 8" W Mature Size:8"-18" H x 8"-18" W
*Ceanothus griseus horizontalis	Ceanothus	1 Gal	Fast, Native	3-5 years: 3'-4' H x 4'-6' W Mature Size: 2'-3' H x 8'-10' W	Tagetes lemmonii	Mexican Marigold	5 Gal	Fast	3-5 years: 4' H x 3' W Mature Size: 4'-6' H x 6'-8' W
*Ceanothus thyrsiflorus 'Sky'lark'	California Lilac	1 Gal	Medium, Native	3'-5' years: 3'-4' H x 4'-6' W Mature Size: 4'-5' H x 6'-7' W	Westringia fruit 'Morning Light'	Coast Rosemary	5 Gal	Medium	3-5 years: 3' H x 3' W Mature Size: 3'-4' H x 3'-4' W
Chondropetalum tect. 'El Campo'	Small Cape Rush	1 Gal	Fast	3-5 years: 3' H x 3' W Mature Size: 2'-4' H x 3'-4' W	GROUNDCOVER/ VINES BOTANICAL NAME	COMMON NAME	SIZE	GROWTH RATE	REMARKS
Cistus ladanifer	Crimson-spot Rockrose	5 Gal	Medium	3-5 years: 4' H x 4' W Mature Size: 3'-5' H x 4'-6' W	Arctostaphylos 'Woods Compact'	Kinnikinnick	5 Gal	Medium	3-5 years: 1' H x 3' W Mature Size: 1' H x 3' W
Cistus salvifolius `Prostratus`	Sageleaf Rockrose	5 Gal	Medium	3-5 years: 1'-2' H x 4'-6' W Mature Size: 1'-2' H x 4'-6' W	Myoporum parvifolium prostratum	White Prostrate Myoporum	1 Gal	Fast	3-5 years: 6" H x 6" W Mature Size: 6"-12" H x 6'-12' W
Coprosma 'Evening Glow'	Evening Glow Mirror Plant	5 Gal	Medium	3-5 years: 5' H x 4' W Mature Size: 5' H x 3'-4' W	Kurapia	Kurapoia	N/A	Fast	SOD
Correa pulchella 'Pink Flamingo'	Australian Fuchsia	1, 5 Gal	Medium	3-5 years: 3' H x 3' W Mature Size: 2'-3' H x 2'-3' W	* Lonicera hispidula	California Honeysuckle	1 Gal	Medium, Native	3-5 years: 3' H x 6' W Mature Size: 4' H x 8' W
Cotoneaster horizontalis	Rock Cotoneaster	1 Gal	Fast	3-5 years: 1'-2' H x 3'-6' W Mature Size: 1'-2' H x 5'-7' W	No Mow Fescue	No Mow	N/A	Fast	SOD
Dietes bicolor	Fortnight Lily	1, 5 Gal	Medium	3-5 years: 2.5' H x 2.5' W Mature Size: 3'-4' H x 2'-3' W	Gelsemium sempervirens	Carolina Jessamine	15 Gal	Fast	3-5 years: 10'-15' H x 10'-15' W Mature Size: 10'-20' H x 10'-20' W
Dietes vegeta	African Iris	1 Gal	Medium	3-5 years: 3'-4' H x 2'-3' W Mature Size: 4' H x 3' W	Pandorea jasminoides	Bower Vine	15 Gal	Fast	3-5 years: 15'-20' H x 15'-20' W Mature Size: 20'-30' H x 20'-30' W
Elymus glauca	Blue Lyme Grass	5 Gal	Fast	3-5 years: 3' H x 3' W Mature Size: 1'-3' H x 3' W	Clytostoma callistegioides	Violet Trumpet Vine	15 Gal	Fast	3-5 years: 10'-15' H x 10'-15' W Mature Size: 15'-20' H x 15'-20' W
*Epilobium canum	California fuchsia	1 Gal	Medium, Native	3-5 years: 1' H x 2' W Mature Size: 1'-1.5' H x 2'-3' W	BIO-RETENTION AREA BOTANICAL NAME	COMMON NAME	SIZE	GROWTH RATE	REMARKS
Eriogonum fasciculatum	California Buckwheat	5 Gal	Fast	3-5 years: 2' H x 3' W Mature Size: 1'-3' H x 4' W	Arctostaphylos usa-ursi kinnikinnick	Kinnikinnick/ Red bearberry	5 gal	Medium	3-5 years: 6" H x 10' W Mature Size: 6"-12" H x 15' W
Escallonia compacta	Escallonia	5 Gal	Medium	3-5 years: 2' H x 4' W Mature Size: 2'-3' H x 4'-6' W	Achillea filipehlina 'Coronation Gold'	Coronation Gold Yarrow	5 Gal	Medium	3-5 years: 2' H x 1' W Mature Size: 3' H x 2' W
Festuca glauca 'Elijah Blue'	Elijah Blue Fescue	5 Gal	Fast	3-5 years: 12" H x 12" W Mature Size: 8"-12" x 8"-12" W	Achillea millefolium	Common Yarrow	5 Gal	Medium	3-5 years: 2' H x 1' W Mature Size: 3' H 2' W
Festuca mairei	Atlas Fescue	5 Gal	Fast	3-5 years: 2'-3' H x 2'-3' W Mature Size: 3' H x 3' W	Carex densa	Dense Sedge	1 Gal	Medium	3-5 years: 12" H x 12" W Mature Size: 18-28" H x 18-28" W
Festuca rubra 'Patrick's Point'	Patrick's Point Red Fescue	5 Gal	Fast	3-5 years: 8'-12" H x spreading Mature Size: 8'-12" H x spreading	* Carex praegracilis	Sedge	1 Gal	Fast, Native	3-5 years: 1' H x 1' W Mature Size: 1' H x 1' W
*Fragaria californica	Wood Strawberry	1 Gal	Fast, Native	3-5 years: 1' H x 2' W Mature Size: 6"-1' H x 3' W	Carex testacea	Orange New Zealand Sedge	1 Gal	Medium	3-5 years: 18" H x 18" W Mature Size: 18-24" H x 18-24" W
Fragaria chilensis 'Chaval'	Ornamental Strawberry	1 Gal	Fast	3-5 years: 6" H x 18" W Mature Size: 3"-6" H x 12"-18" W	* Ceanothus griseus 'Anchor Bay'	California Lilac	1 Gal	Fast, Native	3-5 years: 12" H x 6" W Mature Size: 1'-1-1/2' H x 6-8' W
*Garrya elliptica	Wavyleaf siltkassel	5 gal	Medium, Native	3-5 years: 3' H x 5' W Mature Size: 3'-5' H x 8'-12' W	Correa 'Carmine Bells'	Australian fuchsia	1 Gal	Medium	3-5 years: 1.5' x 3' spread Mature Size: 2' H x 5' spread
Galvezia speciosa	Island Snapdragon	5 Gal	Fast	3-5 years: 3' H x 5' W Mature Size: 3'-4' H x 5'-7' W	Cotinus coggygria	Smoke Tree	5 Gal	Medium	3-5 years: 6'-10' H x 6'-10' W Mature Size: 10'-15' H x 10'-15' W
Grevillea hybrid `Noellii`	Grevillea	5 Gal	Medium	3-5 years: 3'-4' H x 3'-4' W Mature Size: 4'-5' H x 5'-8' W	Epilobium Canum	California Fuchsia	5 Gal	Fast	3-5 years: 1' H x 2' W Mature Size: 1.5' H x 2'-3' W
Hebe 'Coed'	Hebe	5 Gal	Medium	3-5 years: 2'-3' H x 2'-3' W Mature Size: 3'-4' H x 3'-4' W	Festuca idahoensis	Idaho Fescue	5 Gal	Medium	3-5 years: 1' H x 2' W Mature Size: 1-2.5 H x .5' W
Kniphofia 'Bees Sunset'	Common Torch Lily	5 Gal	Medium	3-5 years: 3' H x 3' W Mature Size: 4' H x 3' W	* Festuca californica	California Fescue	1 Gal	Fast, Native	3-5 years: 1' H x 2' W Mature Size: 1.3'-4' H x 3' W
Leucadendron 'Safari Sunset'	Safari Conebush	5 Gal	Fast	3-5 years: 8' H x 6' W Mature Size: 8'-10' H x 6'-8' W	Juncus patens	California Gray Rush	5 Gal	Medium	3-5 years: 1'-2' H x 1'-2' W Mature Size: 2'-3' H x 2'-3' W
Liriope gigantea	Giant Liriope	1 Gal	Medium	3-5 years: 2' H x 2' W Mature Size: 2'-3' H x 2'-3' W	* Mimulus aurantiacus	Bush Monkey Flower	5 Gal	Medium, Native	3-5 years: 1'-2' H x 2' W Mature Size: 3.9'-5' H x 5' W
Liriope muscari 'Silvery Sunproof'	Silvery Sunproof Lilyturf	1 Gal	Medium	3-5 years: 15" H x 15" W Mature Size: 15"-18" H x 15"-18" W	Muhlenbergia rigens	Deergrass	5 Gal	Medium	3-5 years: 3' H x 3' W Mature Size: 4'-5' H x 4' W
Lomandra 'Seascape'	Seascape Mat Rush	1 Gal	Medium	3-5 years: 1' H x 2' W Mature Size: 1'-2' H x 2'-3' W	Salvia clevelandii	Cleveland Sage	5 Gal	Medium	3-5 years: 2' H x 5' W Mature Size: 3'-4.5' H x 8' W
Lomandra 'Platinum'	Platinum Mat Rush	1 Gal	Medium	3-5 years: 2' H x 2' W Mature Size: 2'-3' H x 2'-3' W	Scaevola aemula	Fan Flower	1 Gal	Medium	3-5 years: 1' H x 1' W Mature Size: 1'-1.5' H x 1'-2' W
Loropetalum Chine. 'Shang-White'	Emerald Snow fringe flower	5 Gal	Medium	3-5 years: 2' H x 3' W Mature Size: 2'-3' H x 3'-4' W	* Rhamnus californica 'San Bruno'	Coffeeberry	1 Gal	Medium, Native	3-5 years: 4'-5' H x 4'-6' W Mature Size: 5'-6' H x 5'-8' W
*Myrica californica	Pacific Wax Myrtle	5 Gal	Medium, Native	3-5 years: 15' H x 8' W Mature Size: 20'-30' H x 10'-20' W	Ribes speciosum	Fuchashiaflower Gooseberry	5 Gal	Fast	3-5 years: 5' H x 2' W Mature Size: 6'-10' H x 3'-8' W
Myrtus communis 'Compacta'	Myrtle	5 Gal	Medium	3-5 years: 2' H x 2' W Mature Size: 2'-4' H x 2'-4' W	Rudbeckia californica	California Cone Flower	5 Gal	Medium	3-5 years: 4' H x 1' W Mature Size: 6' H x 1' W
Pennisetum alop. 'Little Bunny'	Little Bunny Fountain Grass	1 Gal	Medium	3-5 years:12" H x 12" W Mature Size: 10"-12"H x 10"-12"W	Stipa pulchra	Purple Needlegrass	5 Gal	Medium	3-5 years: 2' H x 1' W Mature Size: 3' H x 1.5' W
Phormium 'Duet'	Dwarf Variegated Flax	1 Gal	Medium	3-5 years: 1' H x 1' W Mature Size: 1'-2' H x 1'-2' W					

CityVillage

SUMMERHILL HOMES  
COMMUNITIES OF DISTINCTION

ARCHITECTS . PLANNERS . DESIGNERS  
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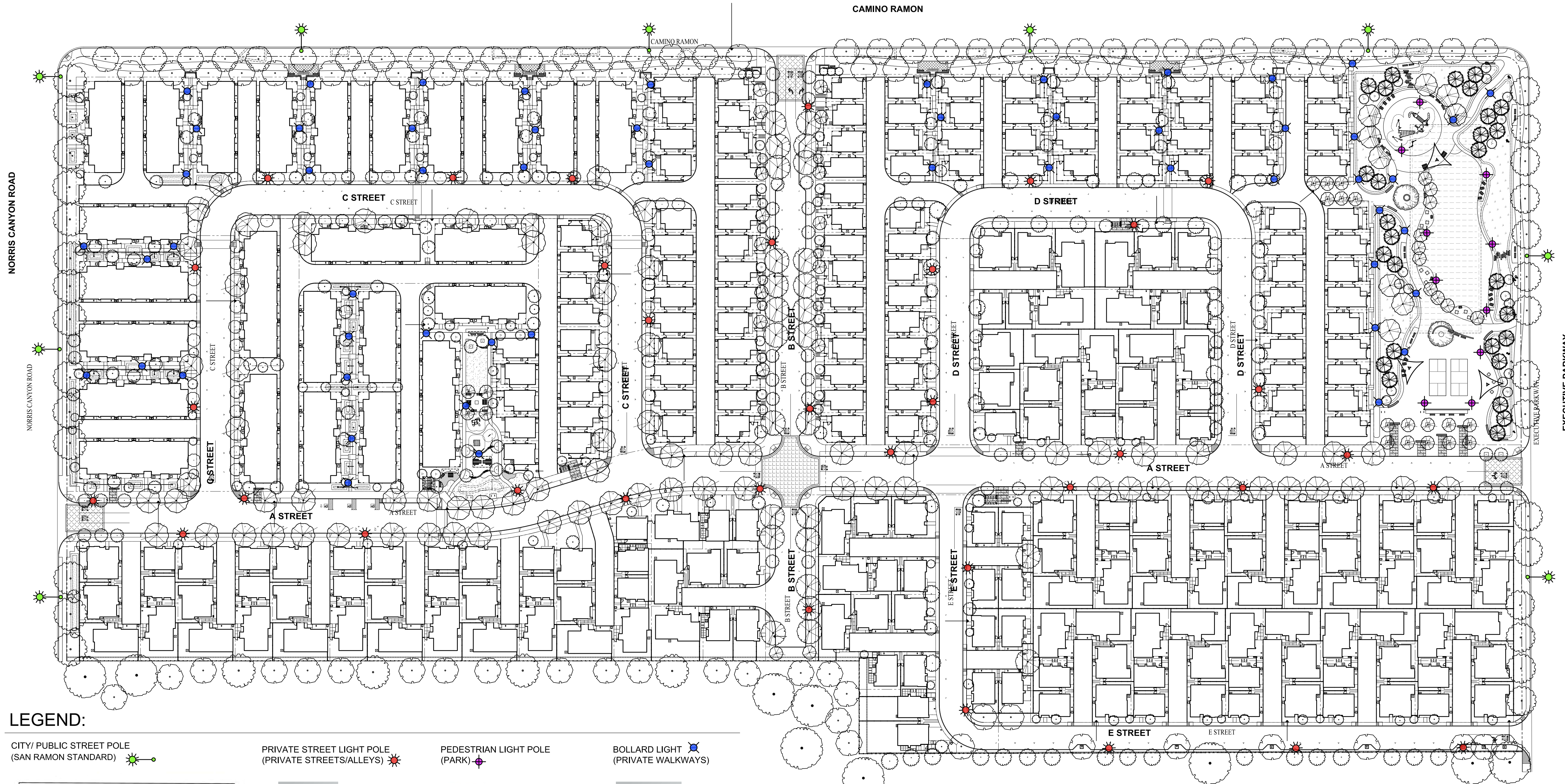
LANDSCAPE ARCHITECTS, INC.  
81 14TH STREET, SAN FRANCISCO, CA  
2P 94103 PH (415) 864-9921 FAX (415) 864-4796

LANDSCAPE  
PLANT LIST

L7.0

CITY OF SAN RAMON, CA  
V2010 | 10-08-2021

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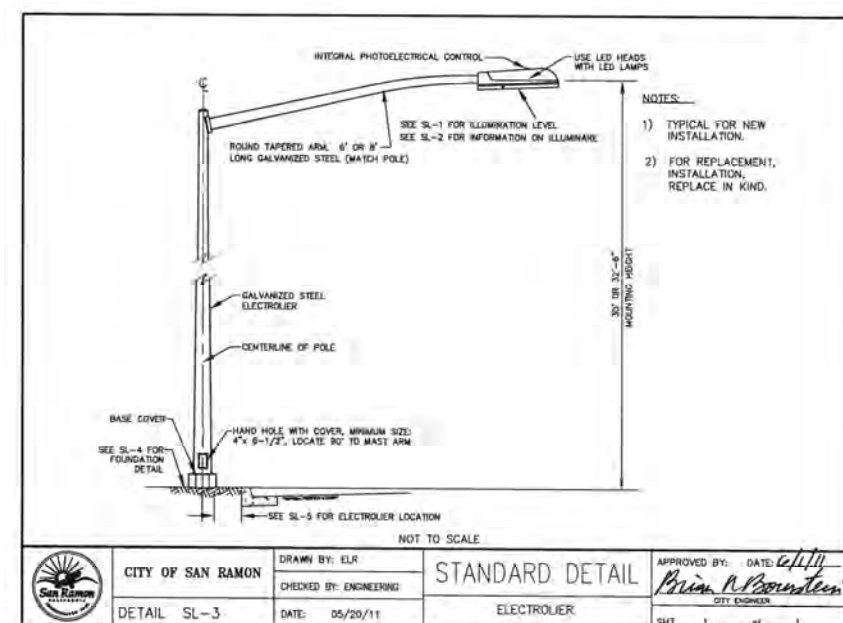
**LEGEND:**

CITY/PUBLIC STREET POLE  
(SAN RAMON STANDARD)

PRIVATE STREET LIGHT POLE  
(PRIVATE STREETS/ALLEYS)

PEDESTRIAN LIGHT POLE  
(PARK)

BOLLARD LIGHT  
(PRIVATE WALKWAYS)



STREET LIGHT DETAILS SHALL BE PER  
CITY OF SAN RAMON STANDARD DETAILS



PURE FORM LIGHT POLE BY  
GARDCO OR APPROVED EQUAL



LAVANTO LIGHT POLE BY CYCLONE  
LIGHTING OR APPROVED EQUAL



PURE FORM BOLLARD LIGHT BY  
GARDCO OR APPROVED EQUAL

**CityVillage**

**SUMMERHILL HOMES™**  
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**VA** VAN DORN ABED  
LANDSCAPE ARCHITECTS, INC.  
81 14TH STREET, SAN FRANCISCO, CA  
ZIP 94103 PH (415) 864-1921 FAX (415) 864-4796

**LANDSCAPE  
CONCEPTUAL LIGHTING PLAN**

**L8.0**

0 30 60 120

CITY OF SAN RAMON, CA  
V2010 | 10-08-2021  
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Artists Conception. Please refer to plans for project specifications

# TENTATIVE MAP AND UTILITIES

**CityVillage**

**SUMMERHILL HOMES™**  
COMMUNITIES OF DISTINCTION

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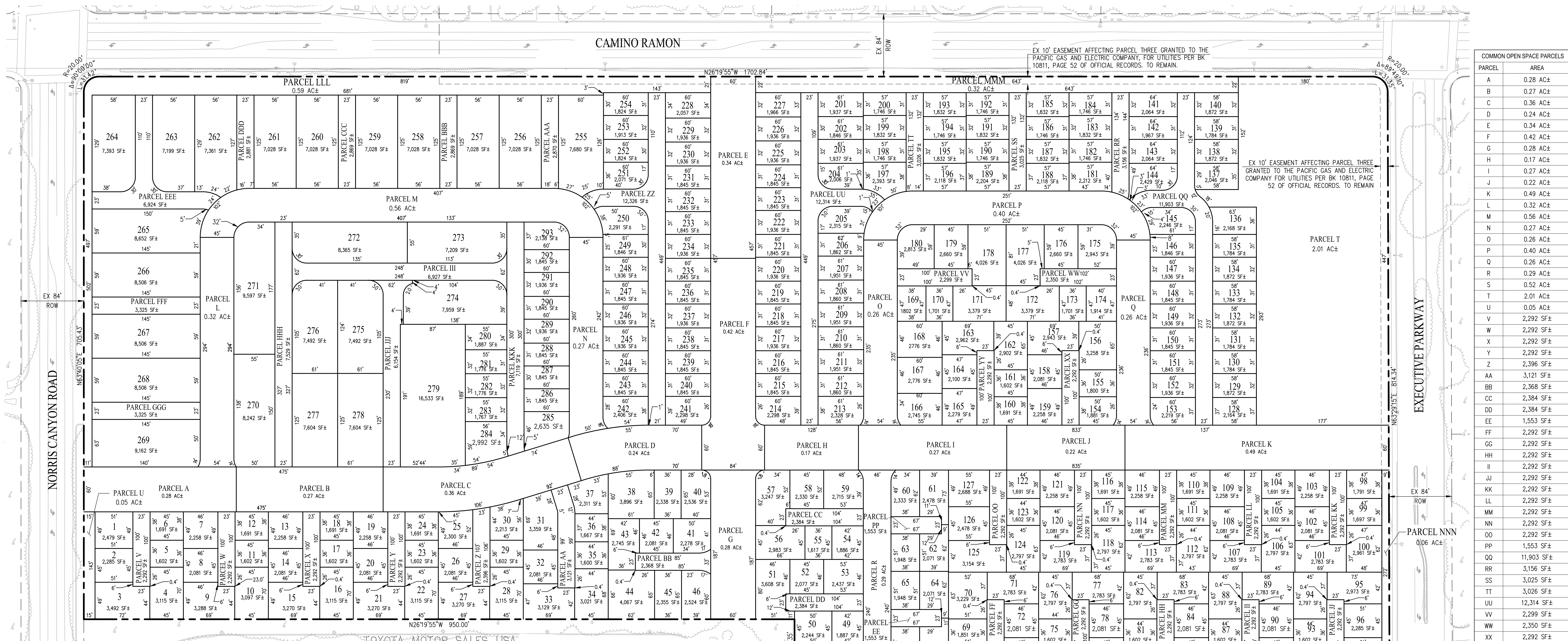
**SDG**  
architects

**cbg** **CARLSON, BARBEE & GIBSON, Inc.**  
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81 14TH STREET, SAN FRANCISCO, CA  
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CITY OF SAN RAMON, CA  
2020148 | 10-13-2021

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PARCEL	AREA
A	0.28 AC±
B	0.27 AC±
C	0.36 AC±
D	0.24 AC±
E	0.34 AC±
F	0.42 AC±
G	0.28 AC±
H	0.17 AC±
I	0.27 AC±
J	0.22 AC±
K	0.49 AC±
L	0.32 AC±
M	0.56 AC±
N	0.27 AC±
O	0.26 AC±
P	0.40 AC±
Q	0.26 AC±
R	0.29 AC±
S	0.52 AC±
T	2.01 AC±
U	0.05 AC±
V	2.29 SF±
W	2.29 SF±
X	2.29 SF±
Y	2.29 SF±
Z	2.39 SF±
AA	3.12 SF±
BB	129.36 SF±
CC	2.38 SF±
DD	2.38 SF±
EE	1.55 SF±
FF	2.29 SF±
GG	2.29 SF±
HH	2.29 SF±
II	2.29 SF±
JJ	2.29 SF±
KK	2.29 SF±
LL	2.29 SF±
MM	2.29 SF±
NN	2.29 SF±
OO	2.29 SF±
PP	1.55 SF±
QQ	11,903 SF±
RR	3,156 SF±
SS	3,025 SF±
TT	3,026 SF±
UU	12,314 SF±
VV	2,292 SF±
WW	2,350 SF±
XX	2,292 SF±
YY	2,292 SF±
ZZ	12,320 SF±
AAA	2,870 SF±
BBB	2,869 SF±
CCC	2,869 SF±
DDD	2,881 SF±
EEE	6,924 SF±
FFF	3,325 SF±
GGG	3,325 SF±
HHH	7,529 SF±
III	7,529 SF±
JJJ	6,154 SF±
KKK	7,119 SF±
LLL	0.59 AC±
MMM	0.32 AC±
NNN	0.06 AC±

**CONTACTS:**

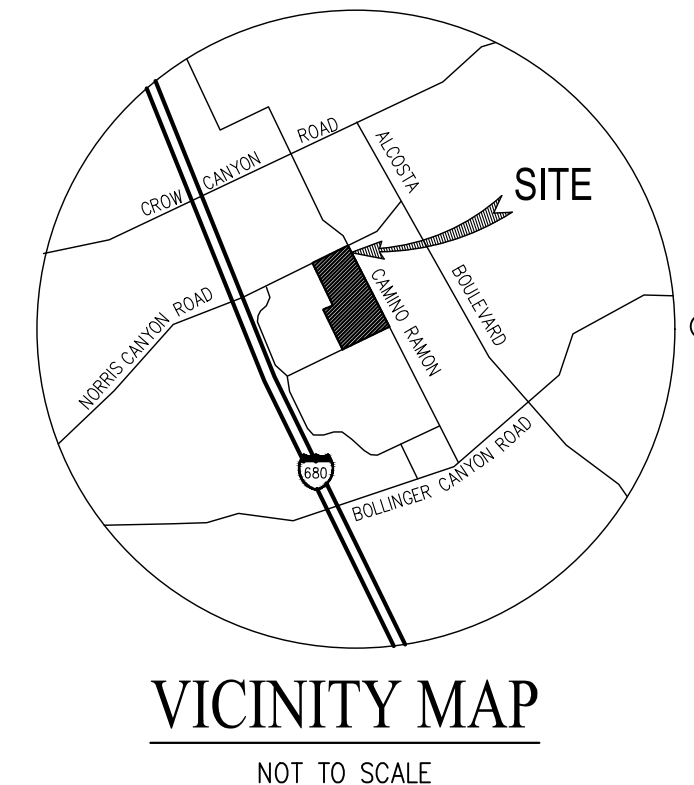
- 1. OWNER: CLANCY DEVELOPMENT, LLC  
2600 CAMINO RAMON SUITE 201  
SAN RAMON, CA 94583  
JERRY ENGEN
- 2. DEVELOPER: SUMMERHILL HOMES, LLC  
3000 EXECUTIVE PARKWAY, SUITE 450  
SAN RAMON, CA 94583  
(925) 244-7537  
DENISE CUNNINGHAM
- 3. CIVIL ENGINEER: CARLSON, BARBEE & GIBSON, INC.  
2633 CAMINO RAMON, SUITE 350  
(925) 866-0322  
RYAN HANSEN, P.E.
- 4. ARCHITECT: WHA ARCHITECTS  
5000 EXECUTIVE PARKWAY, SUITE 375  
SAN RAMON, CA 94583  
ROBERT LEE  
  
SDG ARCHITECTS  
3361 WALNUT BLVD SUITE 120  
BRENTWOOD, CA 94513  
(925)216-5555  
RALPH STRAUSS

**GENERAL NOTES:**

- 1. ASSESSORS PARCEL NUMBER: 213-133-048
- 2. CONTRA COSTA COUNTY TRACT# 9576
- 3. GROSS SITE AREA: 31.05 AC±  
NET SITE AREA: 21.80 AC± (LESS PARCELS A-U, LLL, MMM, & NNN)
- 4. EXISTING ZONING: NORTH CAMINO SPECIFIC PLAN  
PROPOSED ZONING: NORTH CAMINO SPECIFIC PLAN
- 5. NUMBER OF RESIDENTIAL UNITS: 136 MULTI-FAMILY CONDOMINIUM UNITS (ATTACHED)  
154 MOTOR COURT UNITS (DETACHED)  
114 SINGLE FAMILY UNITS (DETACHED)  
404 TOTAL UNITS
- 6. GROSS DENSITY: 13.0 DU/AC
- 7. NET DENSITY: 18.5 DU/AC
- 8. EXISTING STRUCTURES: ALL EXISTING ONSITE STRUCTURES TO BE REMOVED.
- 9. EXISTING STRUCTURES: ALL EXISTING ONSITE UTILITIES TO BE REMOVED UNLESS OTHERWISE NOTED.
- 10. UTILITIES: WATER: EAST BAY MUNICIPAL DISTRICT (EBMUD)  
SANITARY SEWER: CONTRA COSTA SANITARY DISTRICT (CCSSD)  
STORM DRAIN: CITY OF SAN RAMON  
GAS AND ELECTRIC: PGE  
TELEPHONE: ATT

TOYOTA MOTOR SALES USA  
M.S. 50-80, 88 PM 10  
PARCEL 'B'

- 11. FLOOD ZONE: ZONE X (FEMA MAP NUMBER: 06013C0464F)
- 12. STREETS: ALL STREETS AND DRIVE AISLES ON-SITE SHALL BE PRIVATE WITH PUBLIC ACCESS EASEMENT FOR PARCELS A, B, C, D, E, F, G, H, I, J, K, AND T.
- 13. PARCEL EASEMENTS: ALL ONSITE PRIVATE STREETS AND PARCELS SHALL INCLUDE AN EAVE, PUE AND PSDE. MAJOR INTERNAL STREETS SUCH AS PARCELS A, B, C, D, E, F, G, H, I, J, K, AND T WILL ALSO INCLUDE A PAE.
- 14. LANDSCAPING/LIGHTING: ALL LANDSCAPING AND LIGHTING WITHIN THE PROJECT BOUNDARY WILL BE PRIVATE AND PRIVATELY MAINTAINED.
- 15. RETAINING WALLS: ALL INTERNAL PROJECT WALLS WILL BE PRIVATE AND PRIVATELY OWNED.
- 16. PHASING: PROJECT MAY BE PHASED AND HAVE MULTIPLE FINAL MAPS.
- 17. CONDOMINIUM MAP: A CONDOMINIUM MAP WILL BE RECORDED FOR LOTS 255 THROUGH 279 AND THE SUBDIVISION IS A CONDOMINIUM PROJECT AS DEFINED IN SECTIONS 4125 AND 4285 ET. SEQ. OF THE CIVIL CODE OF THE STATE OF CALIFORNIA AND FILED PURSUANT TO THE SUBDIVISION MAP ACT. THE TOTAL NUMBER OF CONDOMINIUM DWELLING UNITS SHALL BE NO MORE THAN 136 RESIDENTIAL CONDOMINIUM UNITS FOR LOTS 255 THROUGH 279.



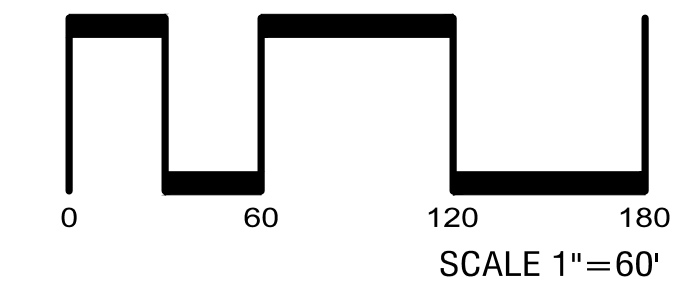
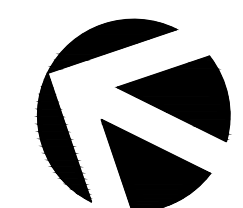
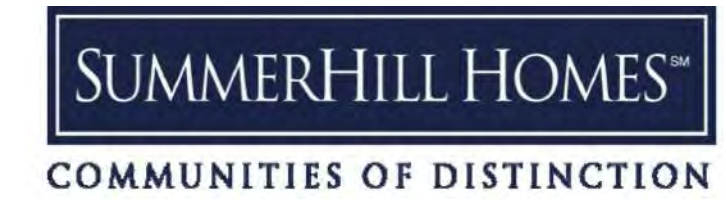
ALEXANDER PROPERTIES CO.  
TRACT 5967, 253 M 49  
LOT 35

**LEGEND**

PROPOSED	DESCRIPTION
---	SUBDIVISION BOUNDARY
---	PROPERTY LINE
---	EASEMENT LINE
---	EMERGENCY VEHICLE ACCESS EASEMENT
---	PUBLIC ACCESS EASEMENT
---	PRIVATE STORM DRAIN EASEMENT
---	PUBLIC UTILITY EASEMENT

**SHEET INDEX**

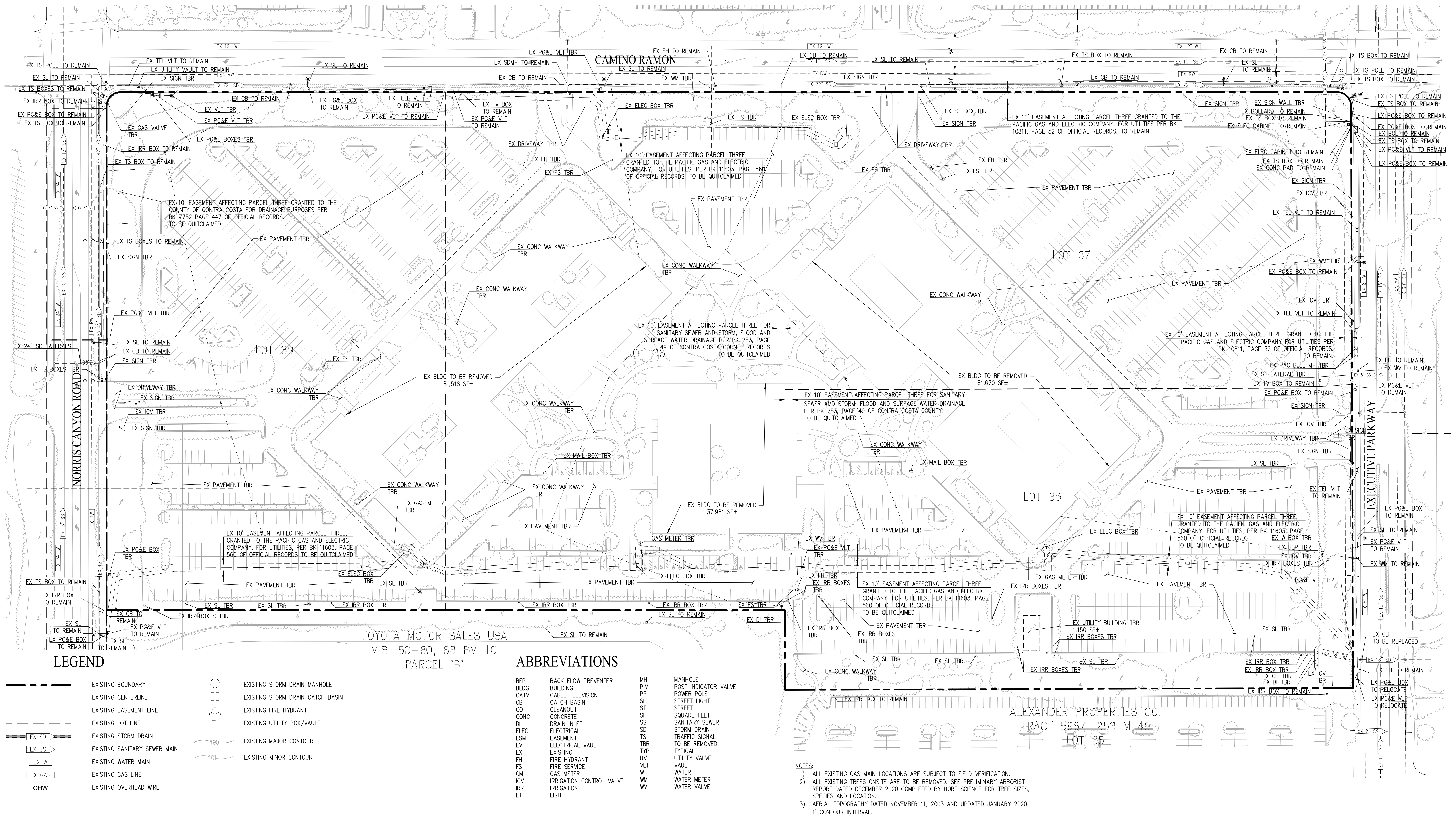
SHEET NO	DESCRIPTION
TM-1	VESTING TENTATIVE MAP FOR CONDOMINIUM PURPOSES
TM-2	EXISTING CONDITIONS
TM-3	PRELIMINARY SITE PLAN
TM-3.1	DEVELOPMENT PLAN
TM-4	PRELIMINARY GRADING AND DRAINAGE PLAN
TM-5	PRELIMINARY GRADING SECTIONS
TM-6	PRELIMINARY UTILITY PLAN
TM-7	PRELIMINARY STORMWATER MANAGEMENT PLAN
TM-8	PRELIMINARY FIRE ACCESS SERVICE PLAN
TM-9	PRELIMINARY EROSION CONTROL PLAN



CITY OF SAN RAMON, CA  
3236-010 | 10-13-2021  
CONTRA COSTA COUNTY TRACT NUMBER - 9576

**VESTING TENTATIVE MAP FOR CONDOMINIUM PURPOSES**  
SHEET TITLE

TM-1



**LEGEND**

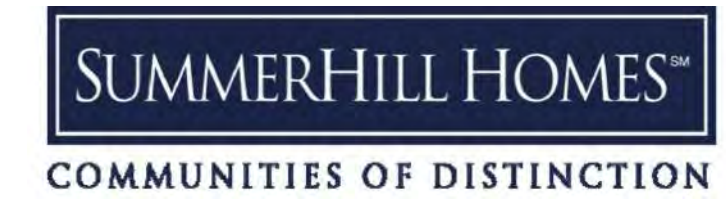
	EXISTING BOUNDARY
	EXISTING CENTERLINE
	EXISTING EASEMENT LINE
	EXISTING LOT LINE
	EXISTING STORM DRAIN
	EXISTING SANITARY SEWER MAIN
	EXISTING WATER MAIN
	EXISTING GAS LINE
	EXISTING OVERHEAD WIRE

	EXISTING STORM DRAIN MANHOLE
	EXISTING STORM DRAIN CATCH BASIN
	EXISTING FIRE HYDRANT
	EXISTING UTILITY BOX/VAULT
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR

**ABBREVIATIONS**

BFP	BACK FLOW PREVENTER	MH	MANHOLE
BLDG	BUILDING	PIV	POST INDICATOR VALVE
CATV	CABLE TELEVISION	PP	POWER POLE
CB	CATCH BASIN	SL	STREET LIGHT
CO	CLEANOUT	ST	STREET
CONC	CONCRETE	SF	SQUARE FEET
DI	DRAIN INLET	SS	SANITARY SEWER
ELEC	ELECTRICAL	SD	STORM DRAIN
ESMT	EASEMENT	TS	TRAFFIC SIGNAL
EV	ELECTRICAL VAULT	TBR	TO BE REMOVED
EX	EXISTING	TYP	TYPICAL
FH	FIRE HYDRANT	UV	UTILITY VALVE
FS	FIRE SERVICE	VL	VAULT
GM	GAS METER	W	WATER
ICV	IRRIGATION CONTROL VALVE	WM	WATER METER
IRR	IRRIGATION	WV	WATER VALVE
LT	LIGHT		

- NOTES:**
- 1) ALL EXISTING GAS MAIN LOCATIONS ARE SUBJECT TO FIELD VERIFICATION.
  - 2) ALL EXISTING TREES ONSITE ARE TO BE REMOVED. SEE PRELIMINARY ARBORIST REPORT DATED DECEMBER 2020 COMPLETED BY HORT SCIENCE FOR TREE SIZES, SPECIES AND LOCATION.
  - 3) AERIAL TOPOGRAPHY DATED NOVEMBER 11, 2003 AND UPDATED JANUARY 2020. 1' CONTOUR INTERVAL.

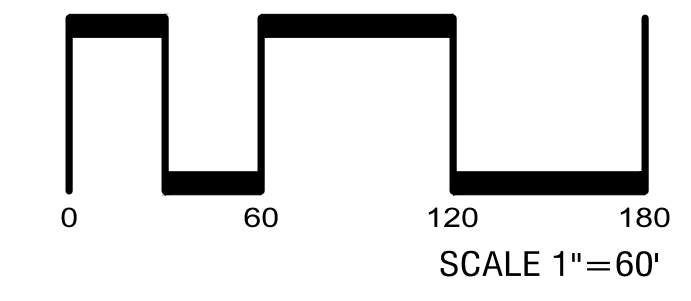
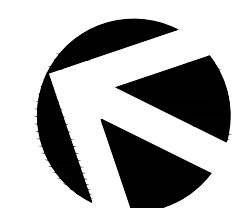


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ZIP 94103 PH (415) 864-9921 FAX (415) 864-0796



**EXISTING CONDITIONS**  
SHEET TITLE

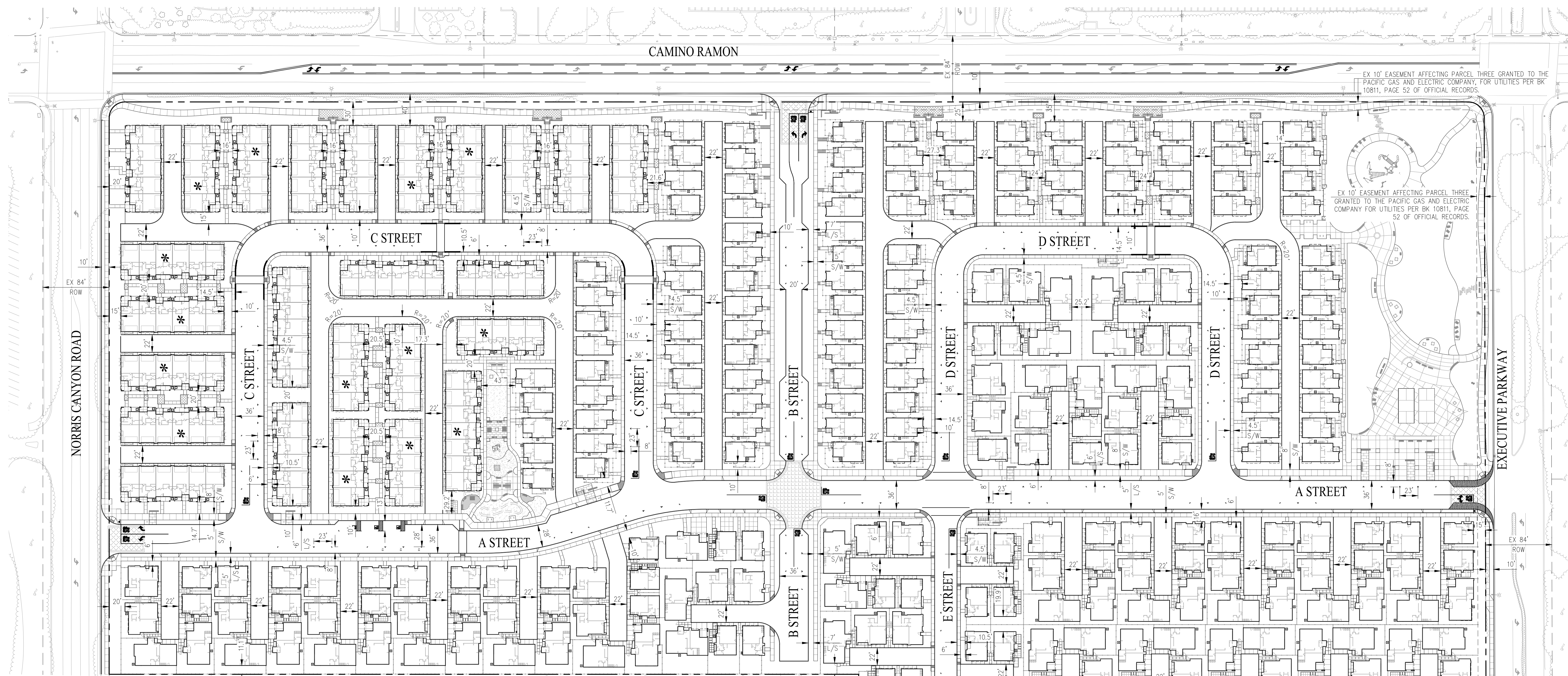
TM-2

CITY OF SAN RAMON, CA  
3236-010 | 10-13-2021

CAMINO RAMON

EX 10' EASEMENT AFFECTING PARCEL THREE GRANTED TO THE PACIFIC GAS AND ELECTRIC COMPANY, FOR UTILITIES PER BK 10811, PAGE 52 OF OFFICIAL RECORDS.

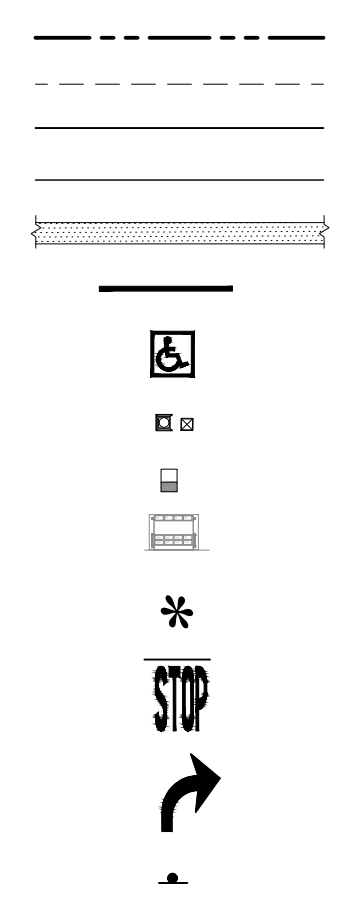
EX 10' EASEMENT AFFECTING PARCEL THREE GRANTED TO THE PACIFIC GAS AND ELECTRIC COMPANY FOR UTILITIES PER BK 10811, PAGE 52 OF OFFICIAL RECORDS.



ADA UNIT COUNT SUMMARY		
# UNITS	REQUIRED ADA UNIT COUNT	PROVIDED ADA UNIT COUNT
136 TOWNHOMES	14	14

PARKING SUMMARY		
MULTI-FAMILY (TOWNHOMES)		
	PARKING STALLS REQUIRED	PARKING STALLS PROVIDED
136 UNITS	247	272
GUEST PARKING	34 (INCLUDES 4 EV STALLS)	34 (INCLUDES 4 EV STALLS)
ADA PARKING	2	2
ELECTRIC VEHICLE CHARGING STATION	4	4 (1)
TOTAL PARKING	283	308
SINGLE FAMILY (COURTS AND ROWS)		
	PARKING STALLS REQUIRED	PARKING STALLS PROVIDED
268 UNITS	518	536
GUEST PARKING	68	119
TOTAL PARKING	586	655
BIKE PARKING	31	32
PARKING STALLS PROVIDED		
PARK	7	

**LEGEND**

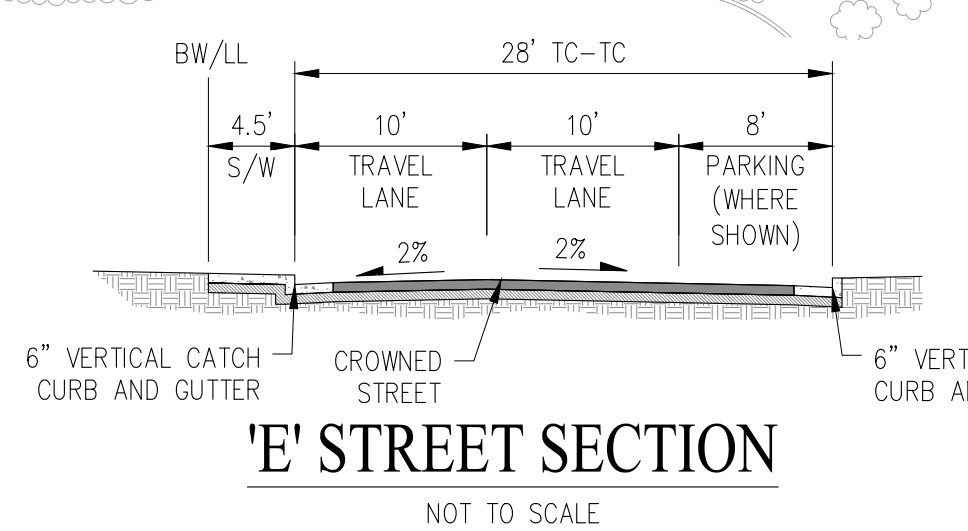


- PROPERTY LINE
- EASEMENT LINE
- LOT LINE
- PROPOSED FACE OF CURB
- SIDWALK
- RED CURB
- ACCESSIBLE PARKING STALL
- AC UNIT
- CURB RAMP
- MAILBOXES
- ACCESSIBLE UNIT
- STOP BAR STRIPING
- TURN ARROW STRIPING
- STOP SIGN

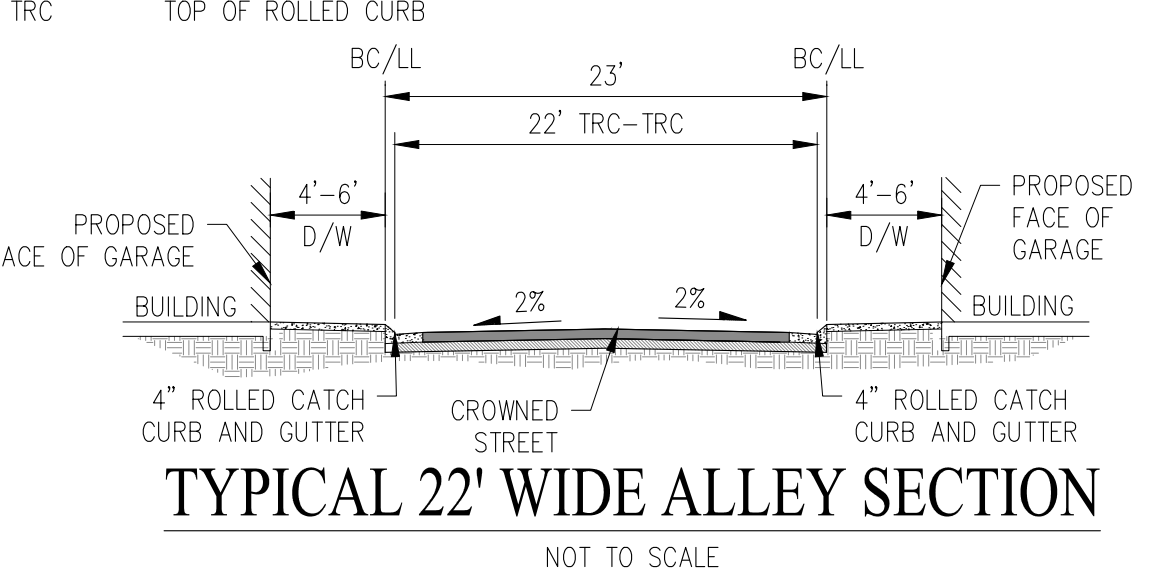
TOYOTA MOTOR SALES USA  
M.S. 50-80, 88 PM 10  
PARCEL 'B'

**ABBREVIATIONS**

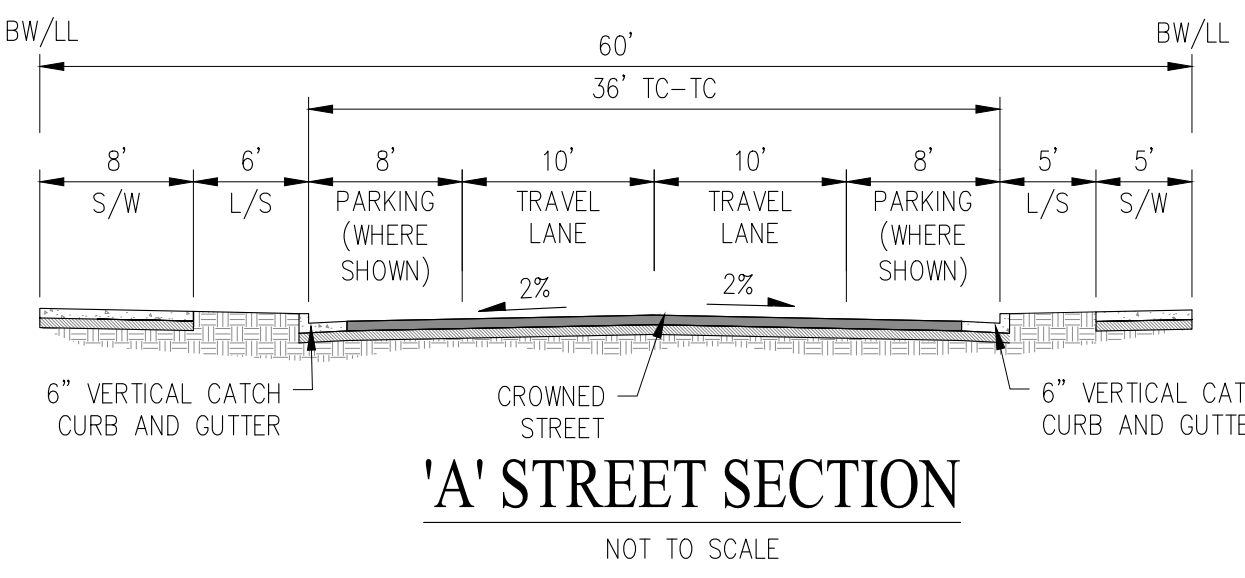
- BC BACK OF CURB
- BW BACK OF WALK
- D/W DRIVEWAY
- EV ELECTRIC VEHICLE
- LL LOT LINE
- L/S LANDSCAPE
- ROW RIGHT OF WAY
- S/W SIDEWALK
- TC TOP OF VERTICAL CURB
- TRC TOP OF ROLLED CURB



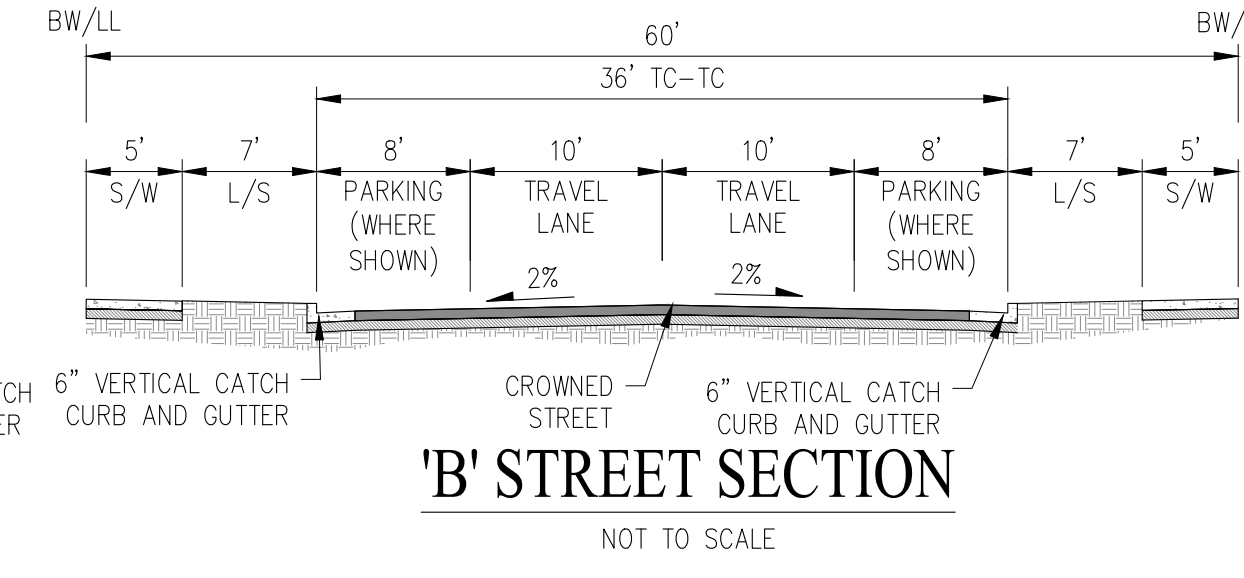
**'E' STREET SECTION**  
NOT TO SCALE



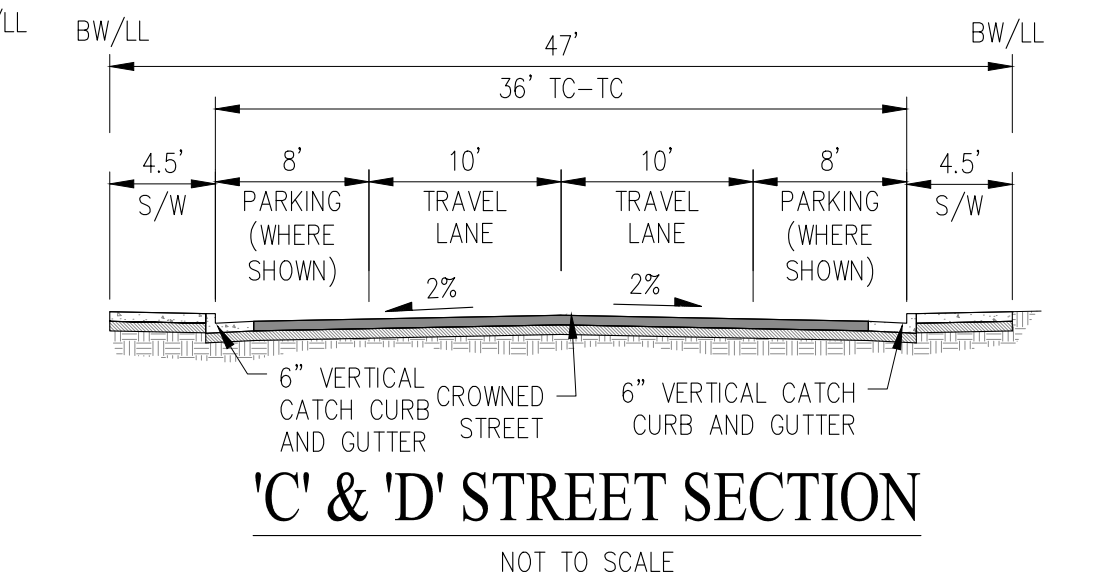
**TYPICAL 22' WIDE ALLEY SECTION**  
NOT TO SCALE



**'A' STREET SECTION**  
NOT TO SCALE



**'B' STREET SECTION**  
NOT TO SCALE



**'C' & 'D' STREET SECTION**  
NOT TO SCALE

NOTES:  
1. PARALLEL ELECTRIC VEHICLE CHARGING STATION PARKING STALLS MINIMUM DIMENSION 8'X23'. ONE OF THE FOUR PROVIDED EV STALLS SHALL BE VAN ACCESSIBLE. ELECTRIC VEHICLE STALLS ARE INCLUDED IN PROVIDED GUEST STALL COUNT.

**PRELIMINARY SITE PLAN**  
SHEET TITLE

**TM-3**

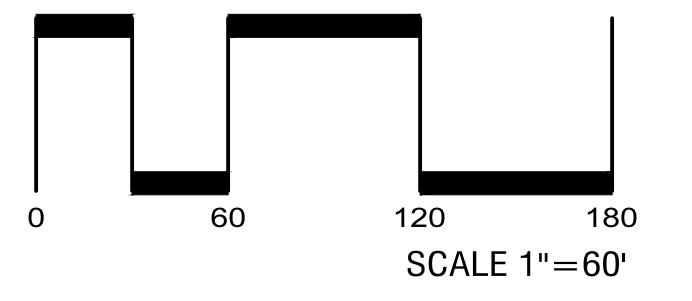
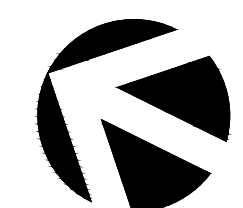


SDG Architects, Inc.  
3361 Walnut Blvd, Suite 120  
Brentwood, CA 94513  
925.634.7000 | sdgarchitectsinc.com

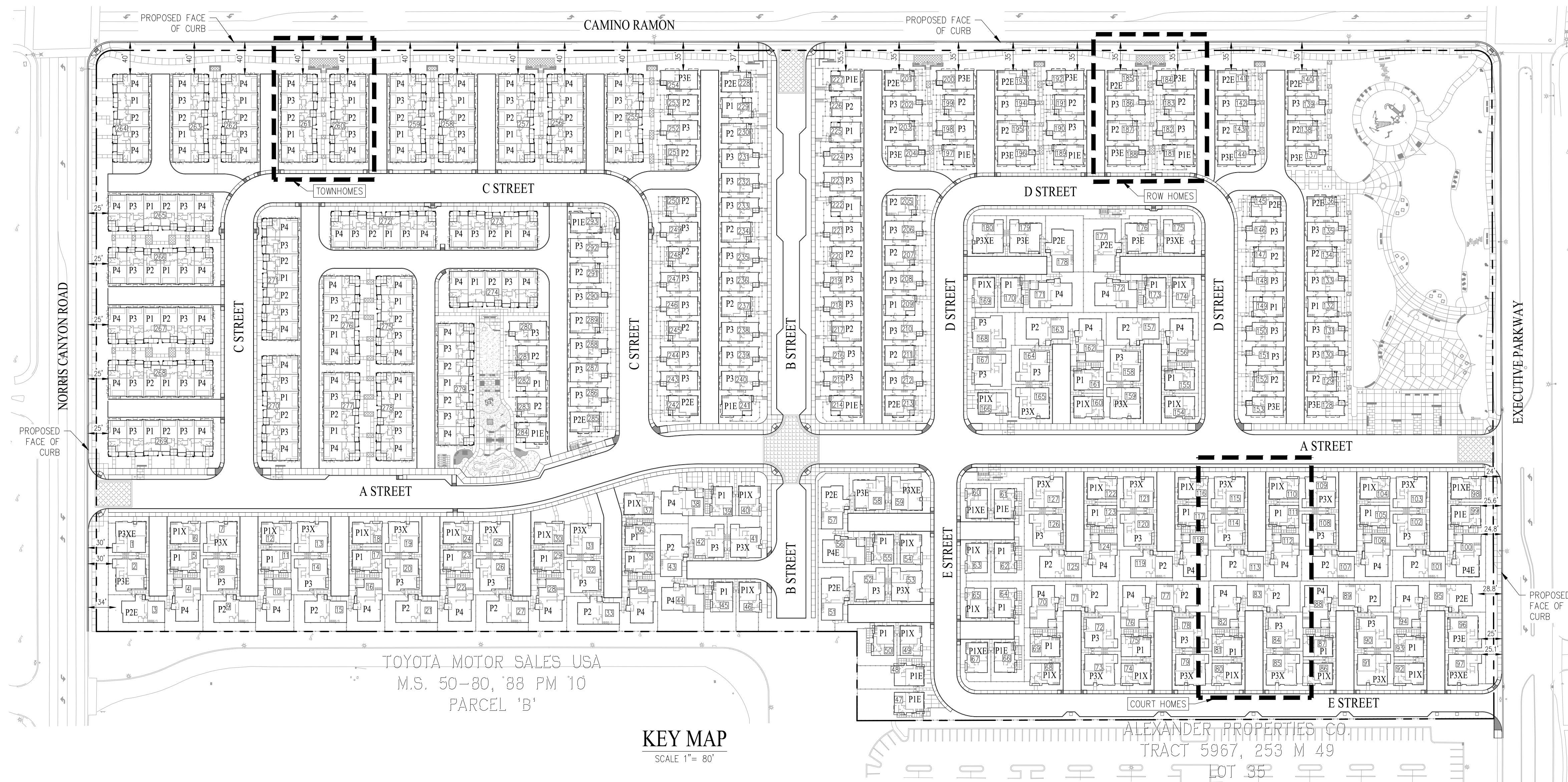


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CITY OF SAN RAMON, CA  
3236-010 | 10-13-2021



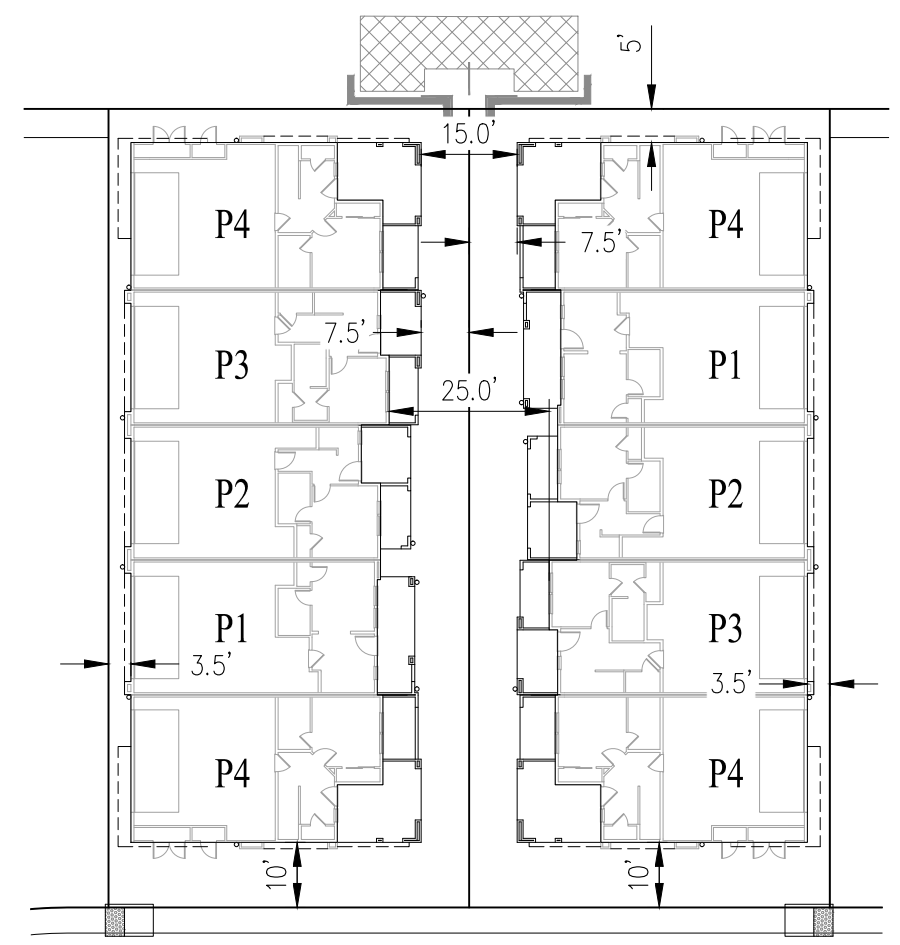
TOYOTA MOTOR SALES USA  
M.S. 50-80, '88 PM 10  
PARCEL 'B'

ALEXANDER PROPERTIES CO.  
TRACT 5967, 253 M 49  
LOT 35

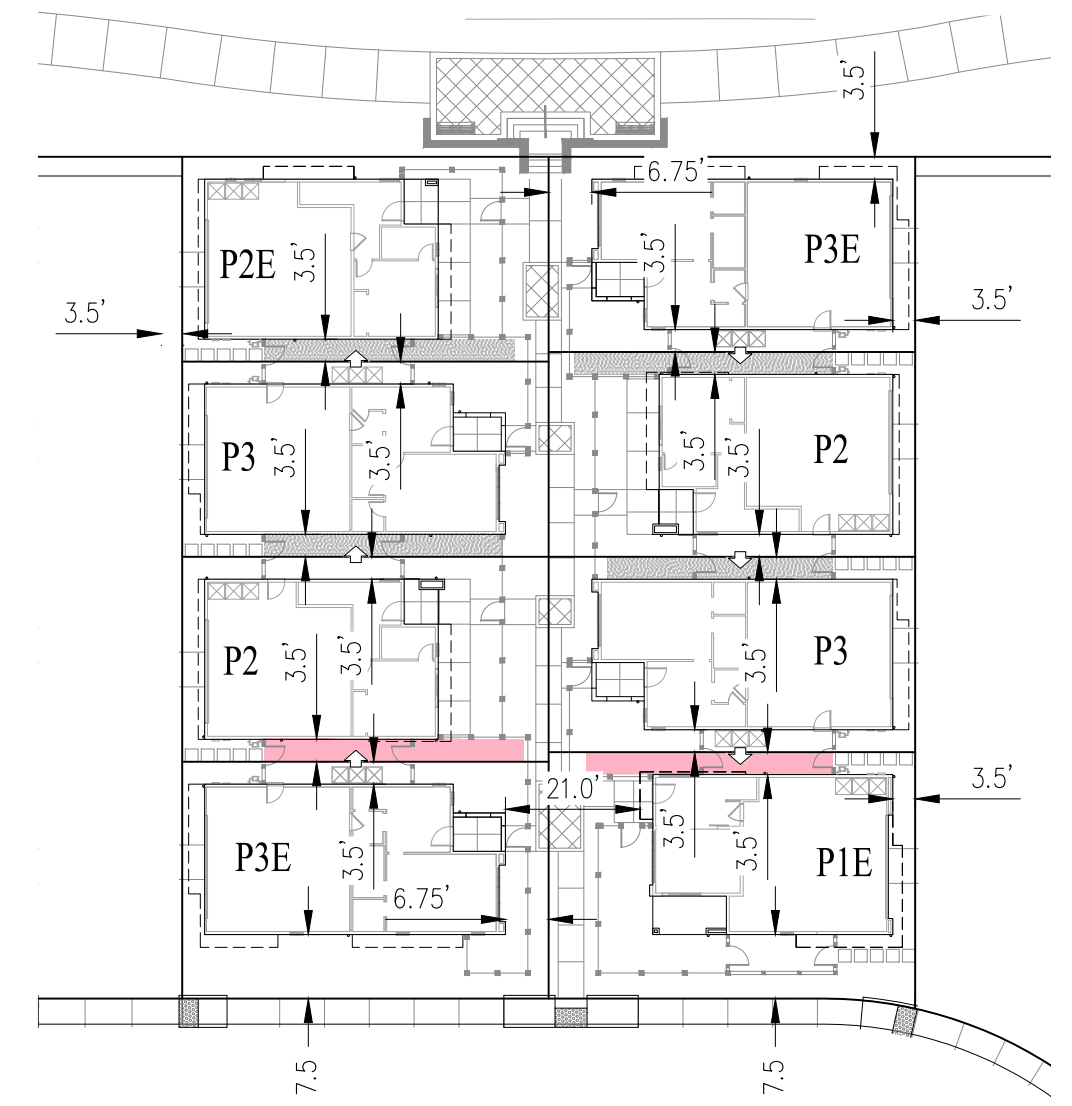
KEY MAP  
SCALE 1" = 80'

LEGEND

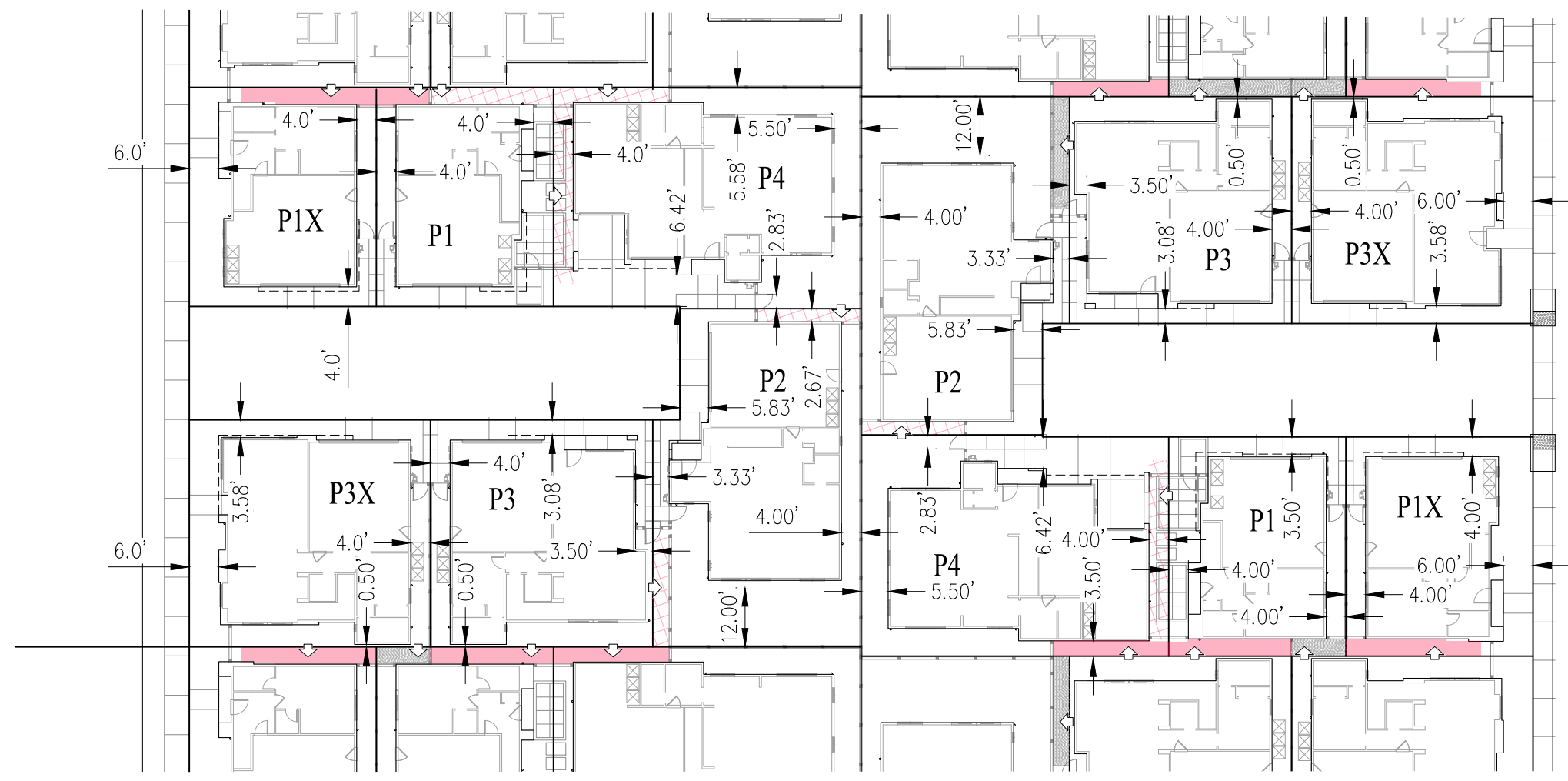
- PROPERTY LINE
- LOT LINE
- PROPOSED FACE OF CURB
- █ SIDE YARD ACCESS EASEMENT (IN FAVOR OF ADJACENT LOT OWNER)
- ◇ RECIPIENT OF SIDE YARD ACCESS EASEMENT
- P1 PLAN TYPE
- 100 LOT NUMBER



TOWNHOMES  
NOT TO SCALE  
(ALL DIMENSIONS SHOWN ARE MINIMUMS)



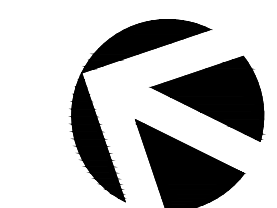
ROW HOMES  
NOT TO SCALE  
(ALL DIMENSIONS SHOWN ARE MINIMUMS)



COURT HOMES  
NOT TO SCALE  
(ALL DIMENSIONS SHOWN ARE MINIMUMS)

UNIT SUMMARY TABLE

ROW HOMES	
PLAN TYPE	QUANTITY
P1	8
P1E	7
P2	30
P2E	11
P3	47
P3E	11
TOTAL	114
COURT HOMES	
P1	25
P1E	6
P1X	25
P1XE	4
P2	17
P2E	6
P3	20
P3E	5
P3X	18
P3XE	5
P4	21
P4E	2
TOTAL	154
TOWNHOMES	
P1	25
P2	27
P3	34
P4	50
TOTAL	136
GRAND TOTAL	404





TOYOTA MOTOR SALES USA  
M.S. 50-80, 88 PM 10  
PARCEL 'B'

ALEXANDER PROPERTIES CO.  
TRACT 5967, 253 M 49  
LOT 35

**LEGEND**

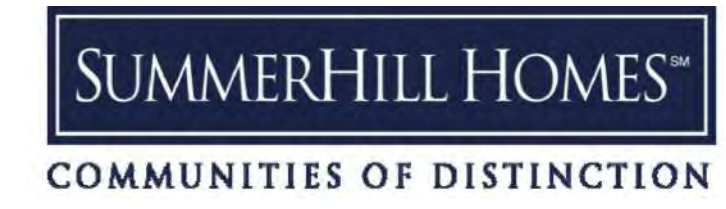
- EX SD EXISTING STORM DRAIN
- SD STORM DRAIN
- SD-FPM STORM DRAIN FORCE PUMP MAIN
- EX MH EXISTING MANHOLE
- PMH PROPOSED MANHOLE
- EX SDCB EXISTING STORM DRAIN CATCH BASIN
- PCB PROPOSED CATCH BASIN
- PFI PROPOSED FIELD INLET
- PAD PROPOSED AREA DRAIN
- SP SUMP PUMP (TREATMENT FLOW ONLY)
- BIA BIO-RETENTION AREA
- LUDP LIMITS OF UNDERGROUND DETENTION PIPES
- SG SPOT GRADE
- SA SLOPE ARROW

**ABBREVIATIONS**

- BW BACK OF WALK
- EG EXISTING GROUND ELEVATION
- EX EXISTING
- FF FINISHED FLOOR ELEVATION
- GB GRADE BREAK
- HP HIGH POINT ELEVATION
- LP LOW POINT ELEVATION
- L/S LANDSCAPE
- PL PROPERTY LINE
- S/W SIDEWALK
- TC TOP OF CURB
- TRC TOP OF ROLLED CURB

ESTIMATED ROUGH GRADING EARTHWORK SUMMARY			
DESCRIPTION	CUT (CY)	FILL (CY)	NET (CY)
ROUGH GRADING	49,000	39,000	10,000
UTILITY SPOILS	5,000	0	5,000
<b>TOTAL</b>	<b>54,000</b>	<b>39,000</b>	<b>15,000</b>

- NOTE:
- ROUGH GRADING AND EARTHWORK QUANTITIES, ARE PRELIMINARY AND SUBJECT TO FINAL DESIGN.
  - ROUGH GRADING REFLECTS STREET SUBGRADE COMPARED TO EXISTING SUBGRADE. EXISTING PAVEMENT THICKNESS ASSUMED TO BE 12" AND PROPOSED STREET SECTION ASSUMED TO BE 12" FOR PRELIMINARY CALCULATION. OFF HAUL OF EXISTING PAVEMENT AND BUILDING FOUNDATION NOT INCLUDED IN EARTHWORK QUANTITIES.
  - UTILITY SPOILS BASED ON CITY STANDARD TRENCH M-3A, M-3B AND M-3C.
  - ALL REQUIRED ADA ACCESSIBLE UNITS FOR THE PROPOSED TOWNHOMES WILL BE DESIGNED PER CBC REQUIREMENTS. SEE SHEET TM-3 FOR PRELIMINARY ACCESSIBLE UNIT LOCATIONS.

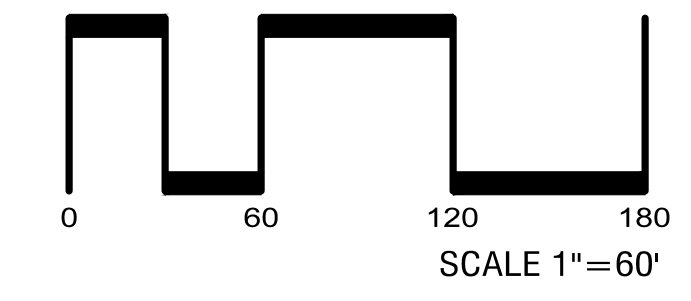
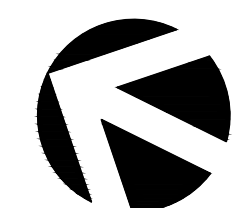


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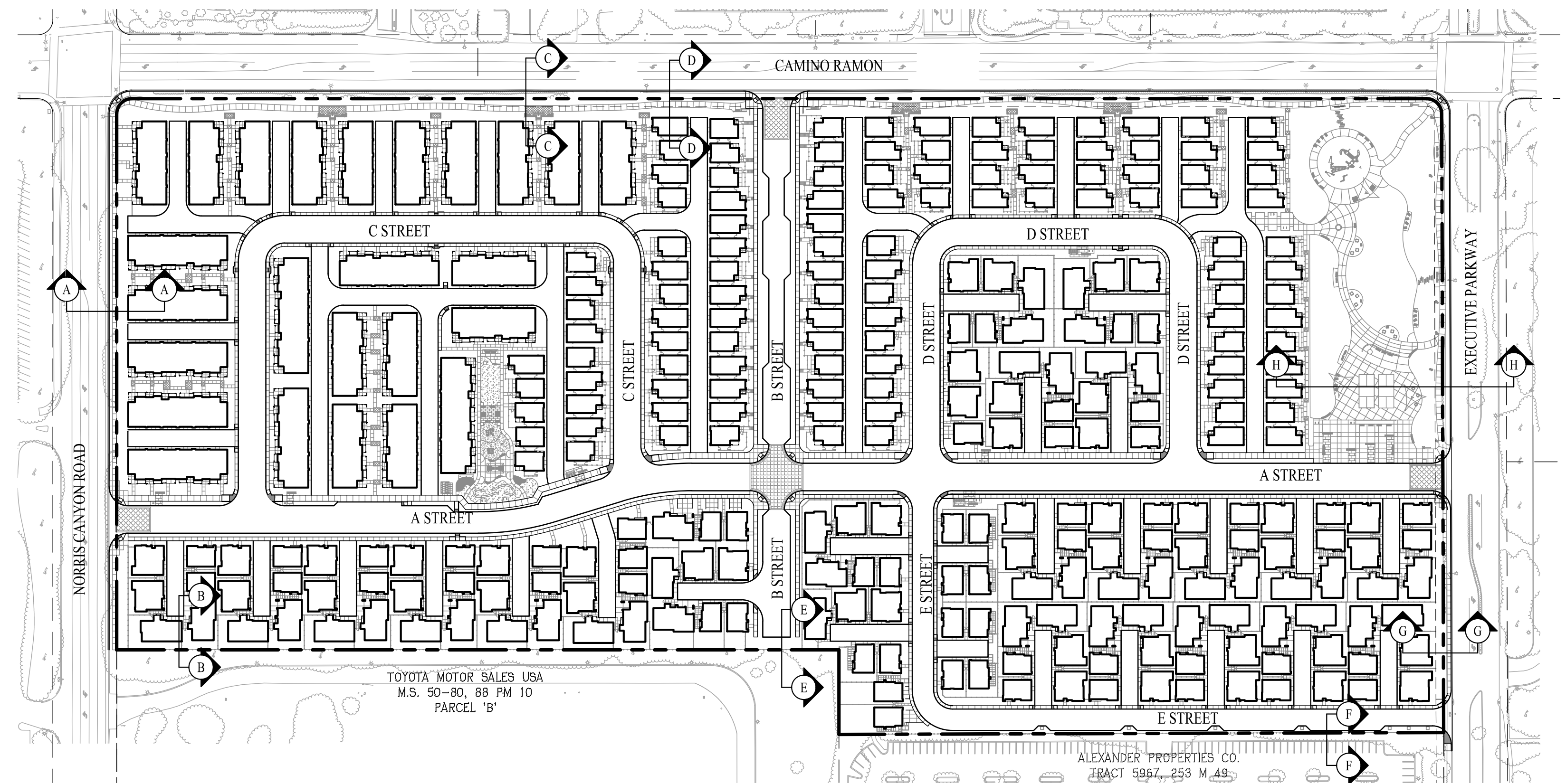
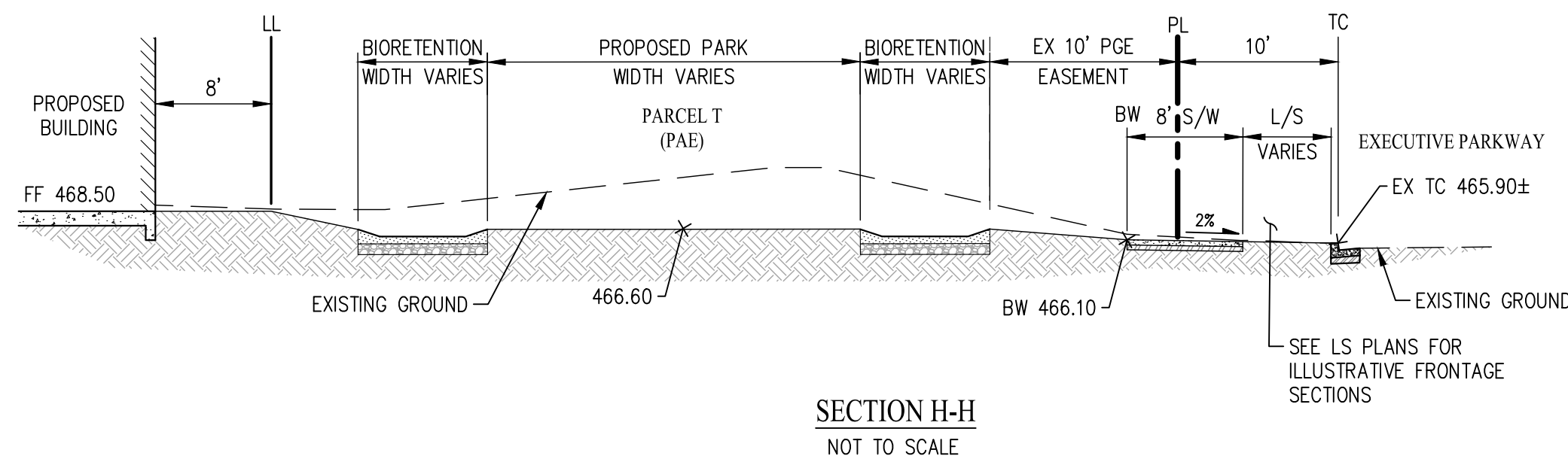
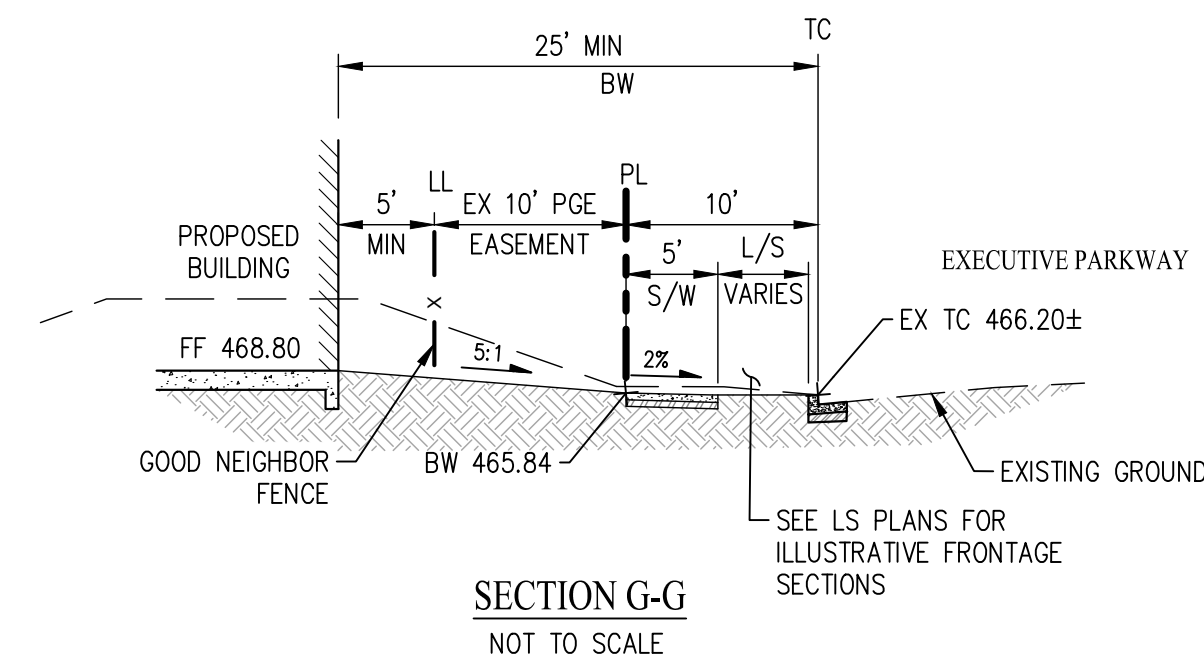
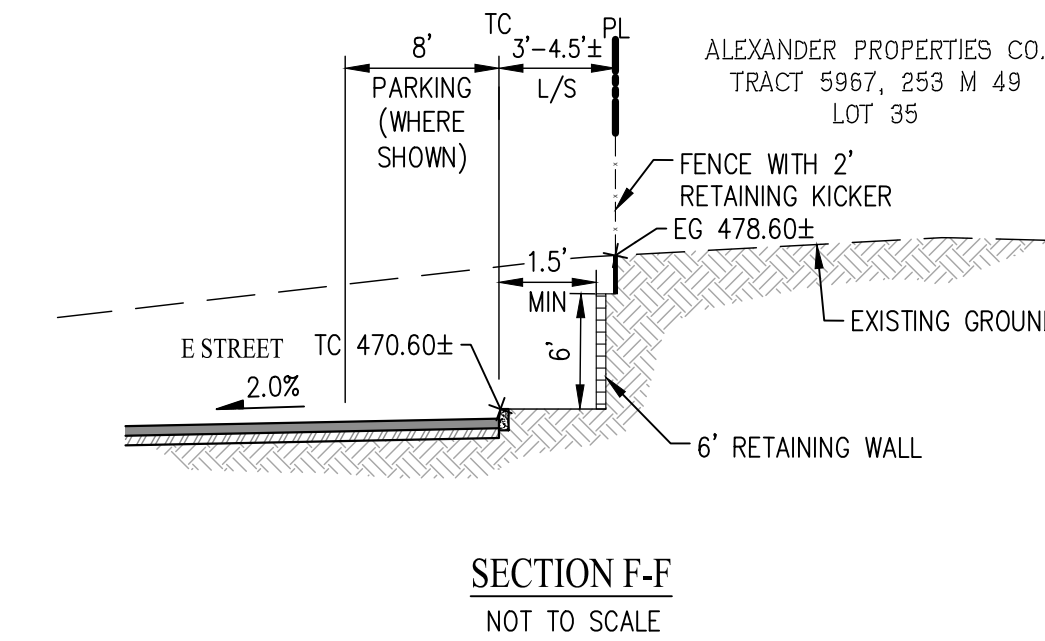
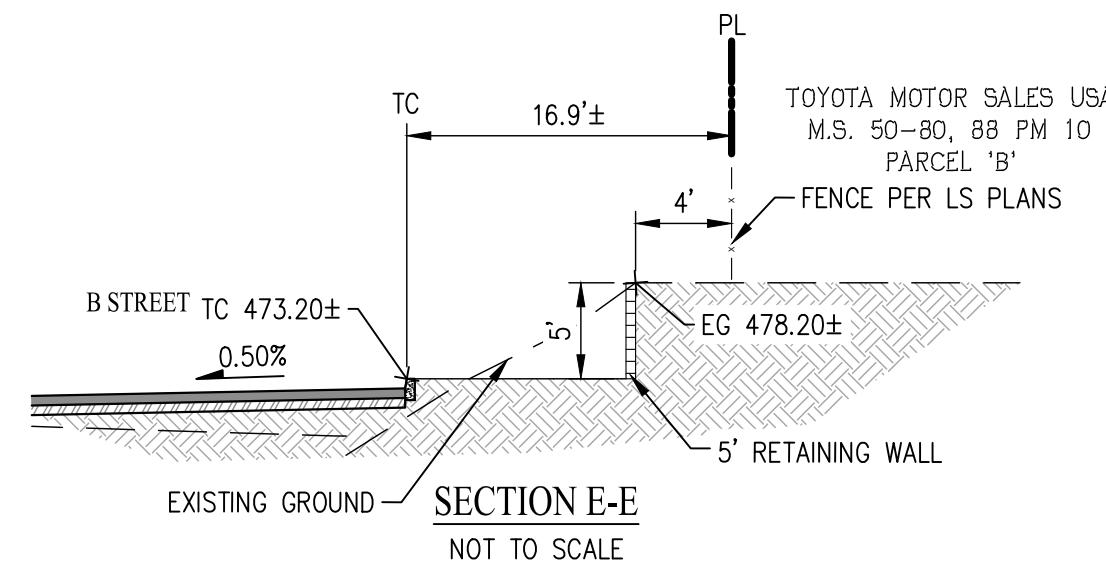
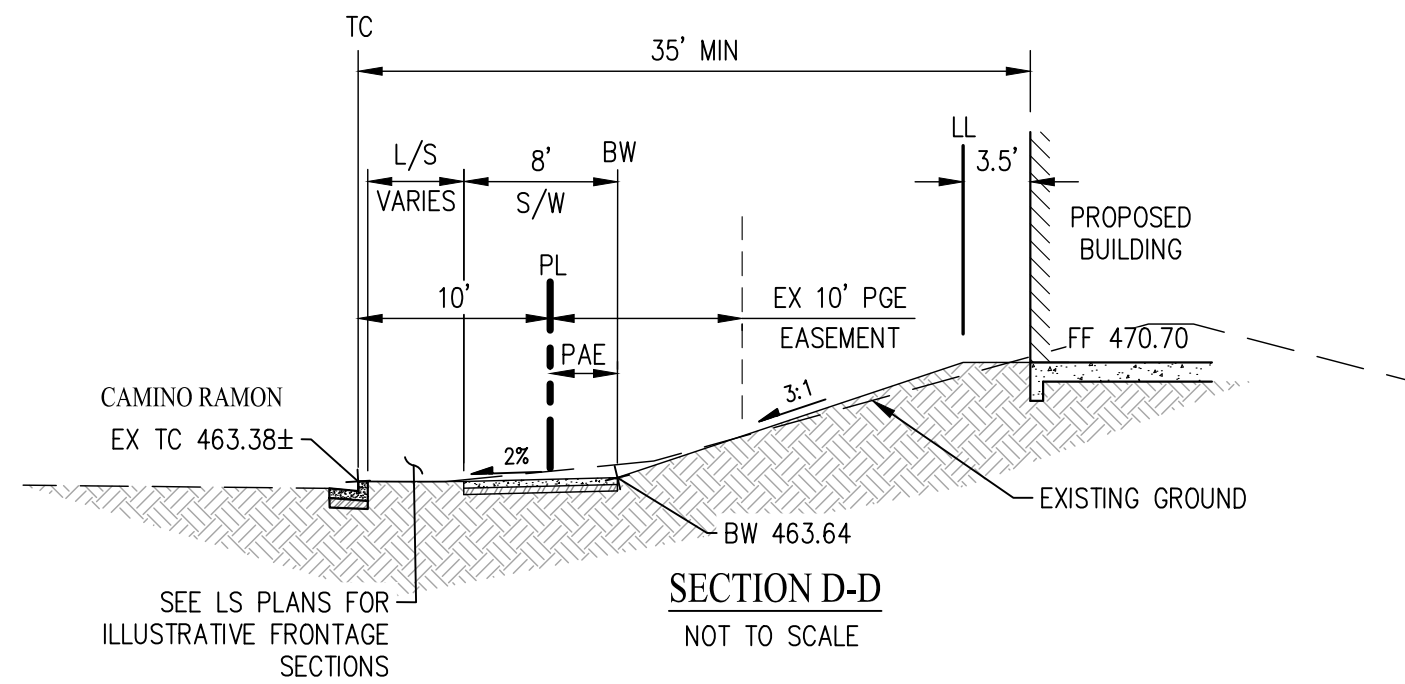
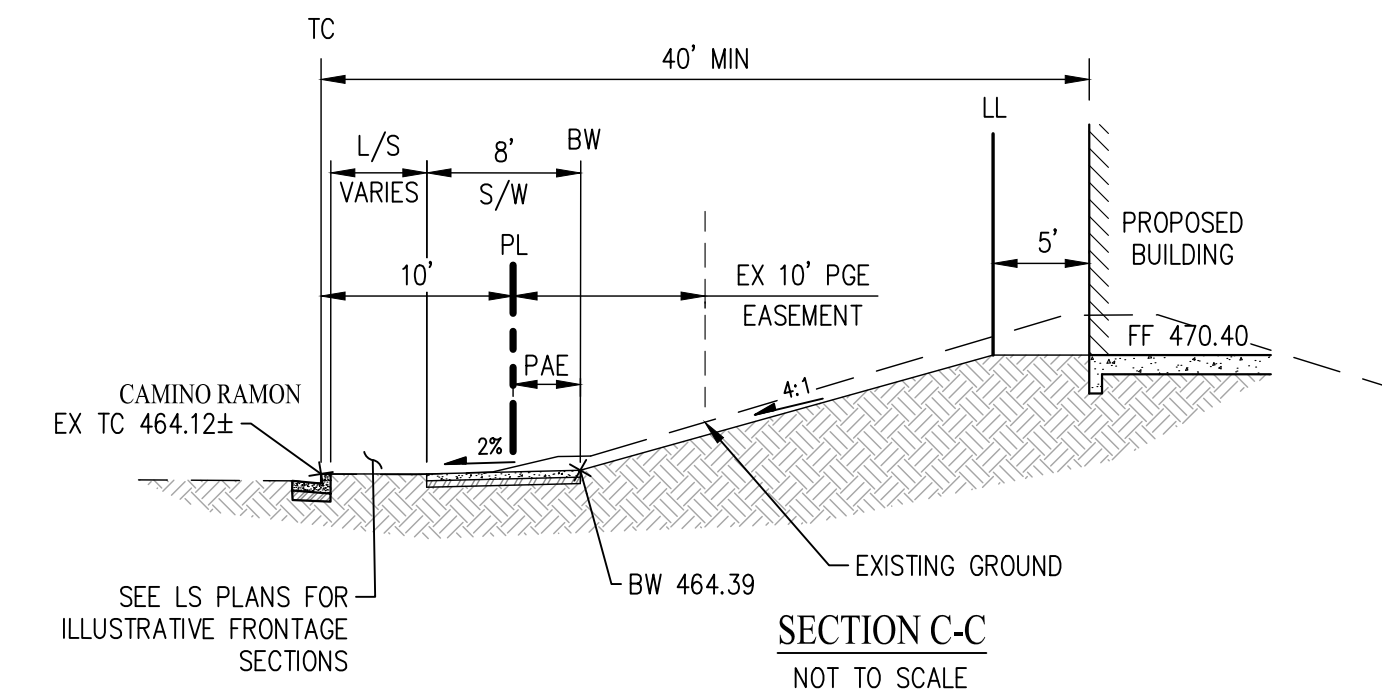
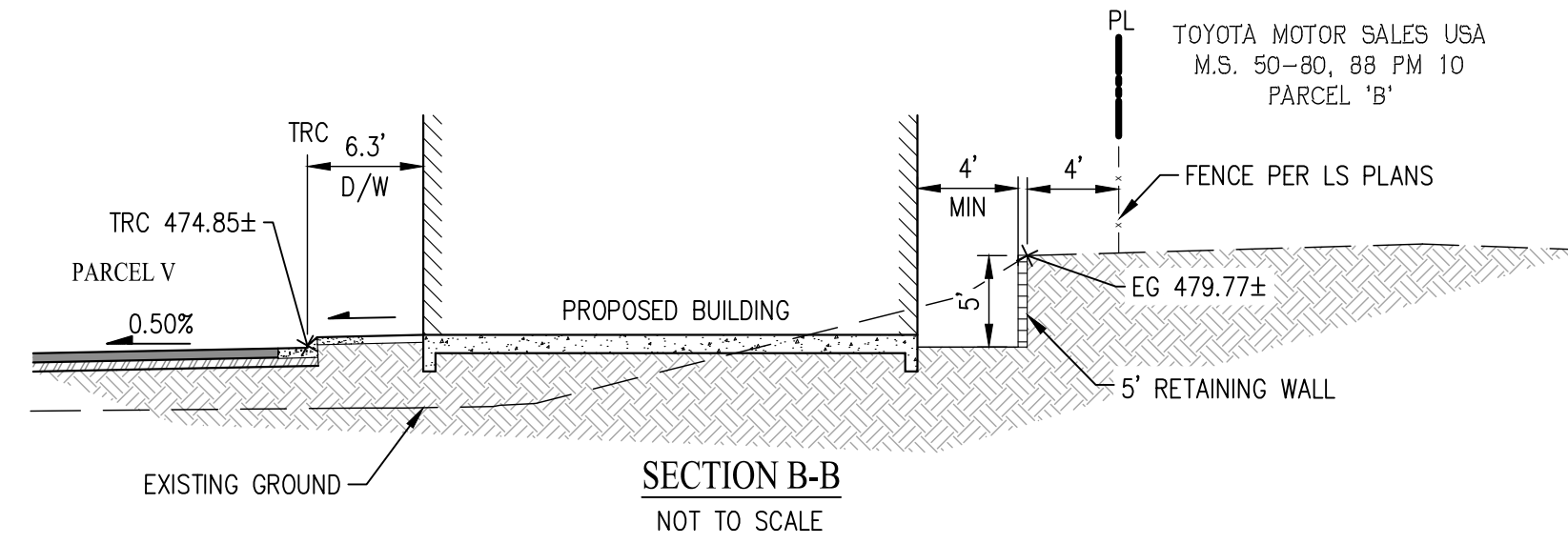
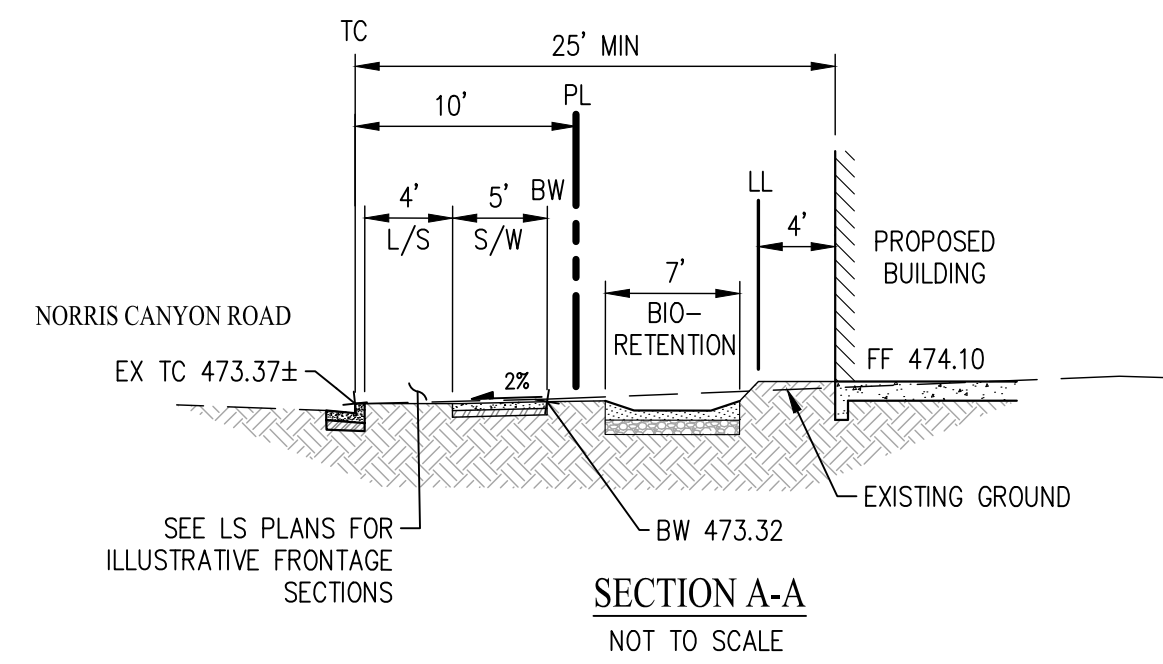
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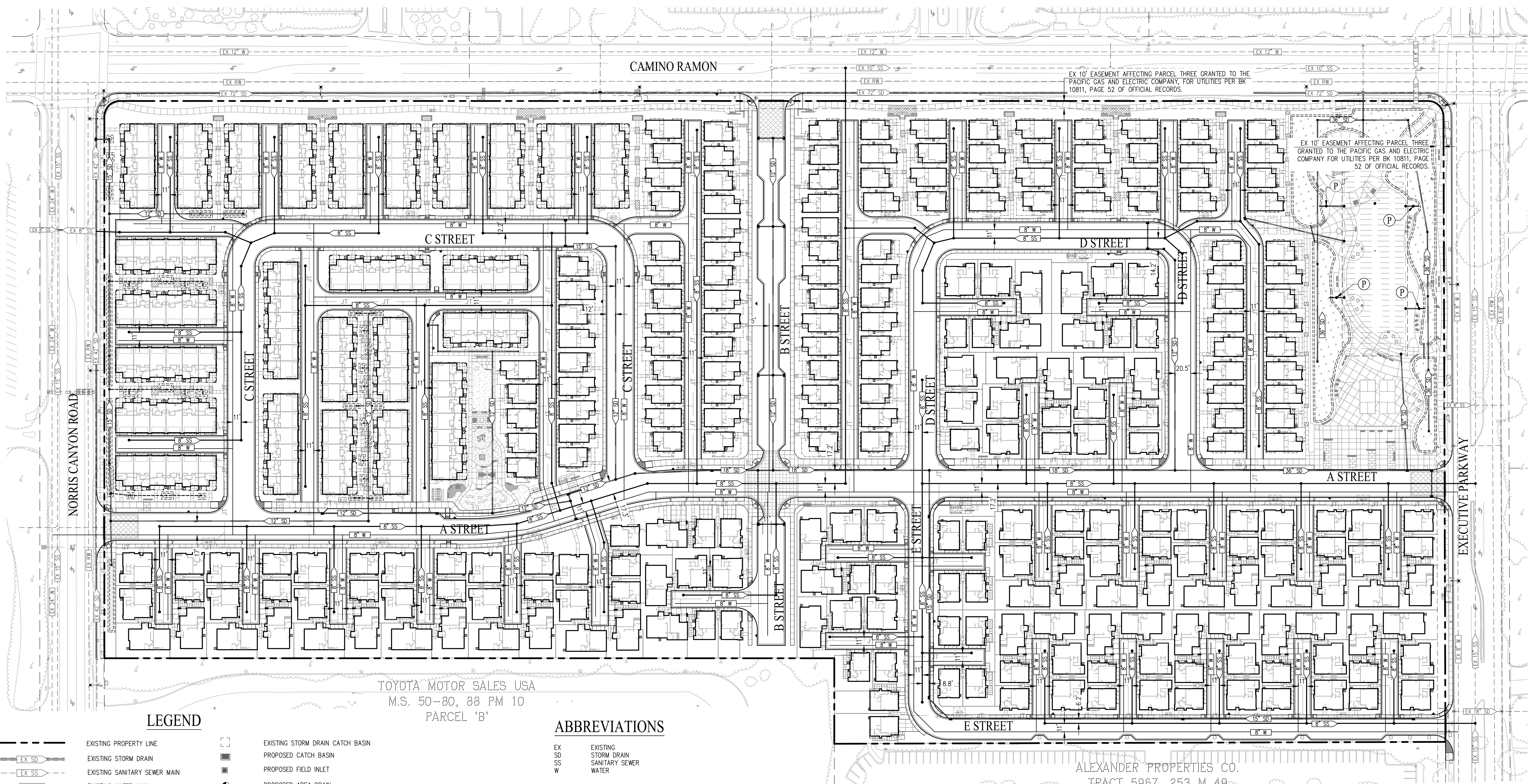
CITY OF SAN RAMON, CA  
3236-010 | 10-13-2021

**PRELIMINARY GRADING AND DRAINAGE PLAN**  
SHEET TITLE **TM-4**



**PRELIMINARY GRADING SECTIONS**  
SHEET TITLE

TM-5



**LEGEND**

	EXISTING PROPERTY LINE		EXISTING STORM DRAIN CATCH BASIN
	EXISTING STORM DRAIN		PROPOSED CATCH BASIN
	EXISTING SANITARY SEWER MAIN		PROPOSED FIELD INLET
	EXISTING WATER MAIN		PROPOSED AREA DRAIN
	EXISTING GAS LINE		EXISTING FIRE HYDRANT
	PROPOSED JOINT TRENCH		PROPOSED FIRE HYDRANT
	PROPOSED STORM DRAIN		SUMP PUMP (TREATMENT FLOW ONLY)
	STORM DRAIN FORCE PUMP MAIN		BIO-RETENTION AREA
	PROPOSED SANITARY SEWER MAIN		LIMITS OF UNDERGROUND DETENTION PIPES
	PROPOSED WATER MAIN		JOINT TRENCH UTILITY BOX
	EXISTING MANHOLE		
	PROPOSED MANHOLE		

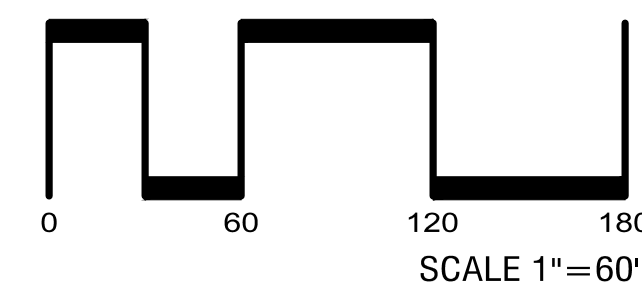
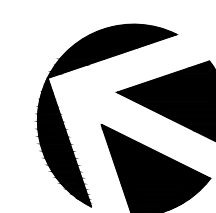
**ABBREVIATIONS**

EX	EXISTING
SD	STORM DRAIN
SS	SANITARY SEWER
W	WATER

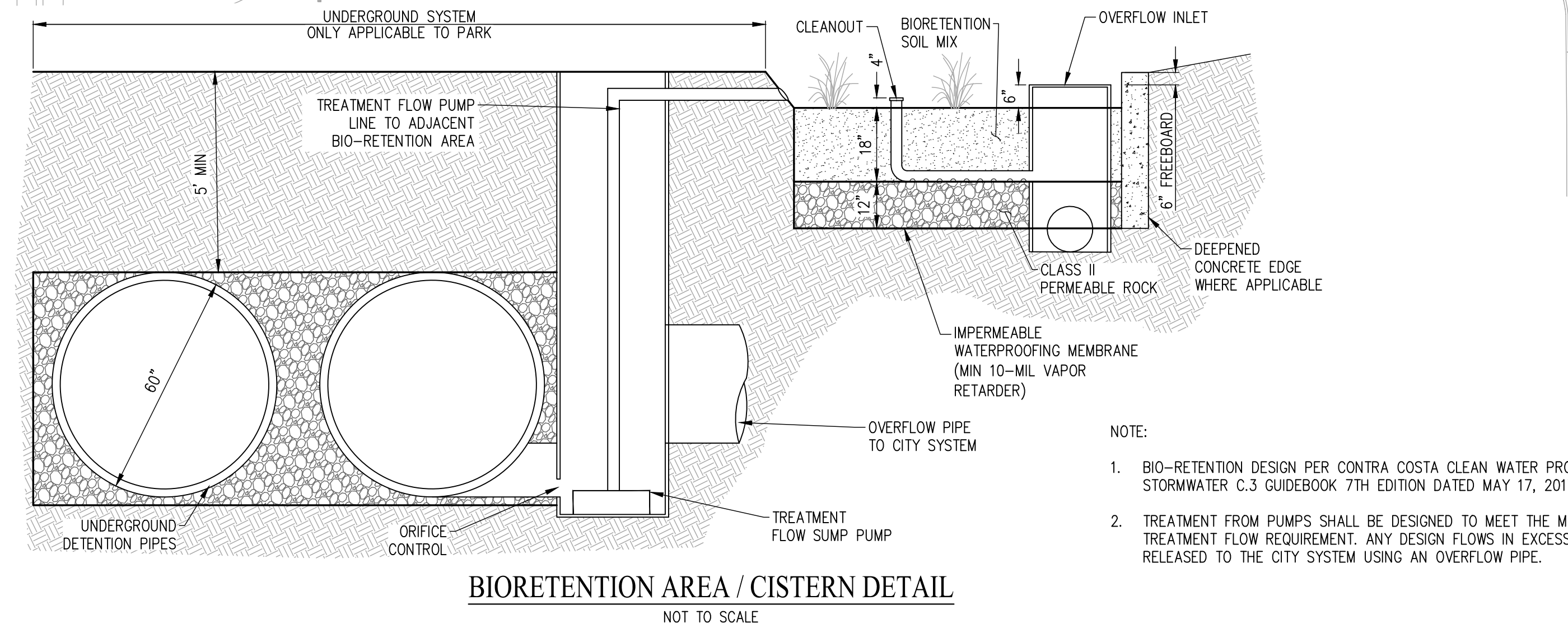
**NOTE:**

1. WATER SYSTEM FOR ALL UNIT TYPES WILL INCLUDE A COMBINATION FIRE AND DOMESTIC SERVICE (NFPA 13 D)
2. WATER MAIN TO BE DESIGNED PER EBMUD STANDARDS.
3. SANITARY SEWER SYSTEM TO BE DESIGNED PER COCCSD STANDARDS.

ALEXANDER PROPERTIES CO.  
TRACT 5967, 253 M 49  
LOT 35







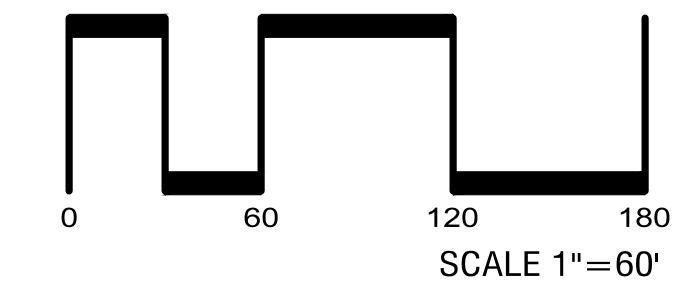
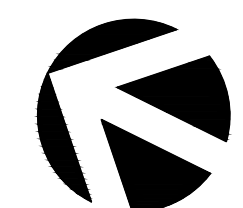
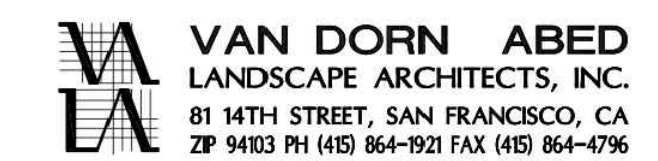
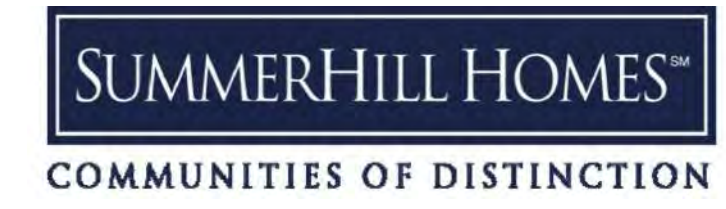
ALEXANDER PROPERTIES CO.  
TRACT 5967, 253 M 49  
LOT 35

**STORM WATER TREATMENT SUMMARY**

DMA	IMPERVIOUS AREA (SF)	PERVIOUS AREA (SF)	TREATMENT AREA REQUIRED (SF)	TREATMENT AREA PROVIDED (SF)	TREATMENT TYPE
1	620	610	27	30	BR-1
2	912	319	38	42	BR-2
3	192	971	12	24	BR-3
4	1217	1161	53	54	BR-4
5	2849	1386	120	127	BR-5
6	2910	1480	122	127	BR-6
7	1696	1072	72	55	BR-7
8	2238	753	93	93	BR-8
9	600	731	27	31	BR-9
10	1115	937	48	48	BR-10
11	10450	1872	425	407	BR-11
12	1695	2253	77	40	BR-12
13	2238	808	93	92	BR-13
14	600	758	27	19	BR-14
15	1115	981	49	40	BR-15
16	10093	3287	417	512	BR-16
17	582	758	26	19	BR-17

DMA	IMPERVIOUS AREA (SF)	PERVIOUS AREA (SF)	TREATMENT AREA REQUIRED (SF)	TREATMENT AREA PROVIDED (SF)	TREATMENT TYPE
18	1566	1015	67	38	BR-18
19	581	765	26	19	BR-19
20	10498	8751	454	589	BR-20
21	689	239	29	28	BR-21
22	691	240	29	28	BR-22
23	1079	537	45	38	BR-23
24	1183	579	50	38	BR-24
25	1115	643	47	38	BR-25
26	1082	566	46	38	BR-26
27	905	571	38	54	BR-27
28	713	747	32	54	BR-28
29	1078	609	46	38	BR-29
30	1183	574	50	38	BR-30
31	1115	641	47	38	BR-31
32	1099	560	46	38	BR-32
33	681	340	29	28	BR-33
34	681	322	29	28	BR-34
35	926096	321556	22538	22538	C-35

**PRELIMINARY STORMWATER MANAGEMENT PLAN**  
SHEET TITLE **TM-7**

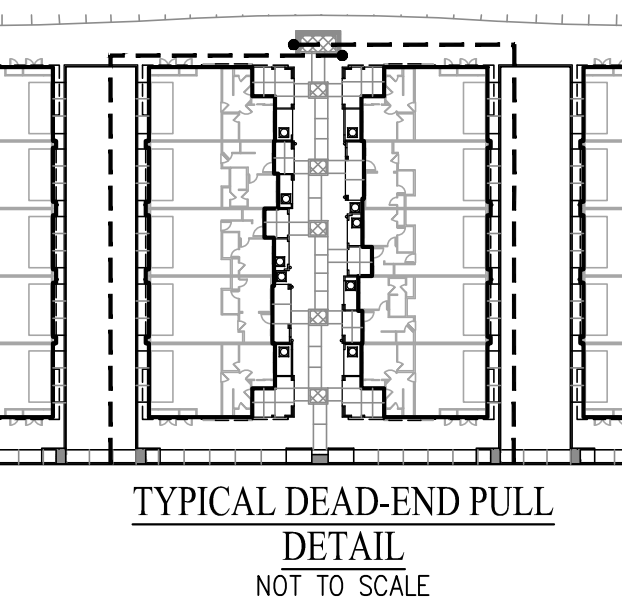
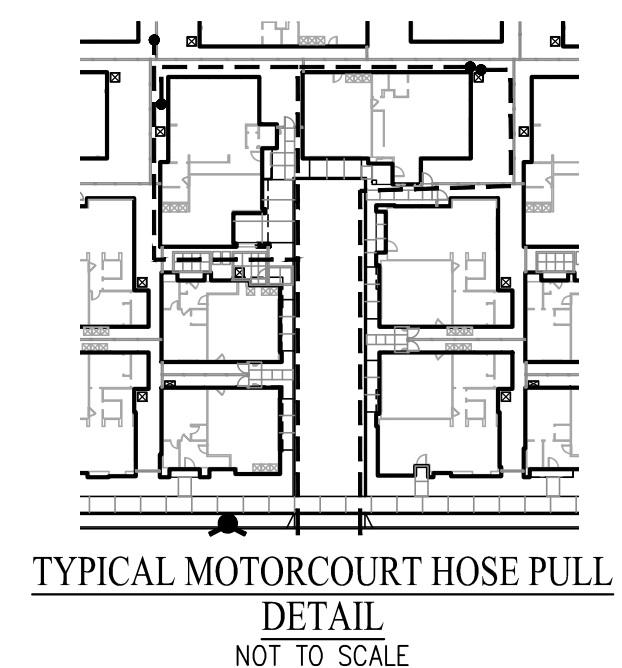
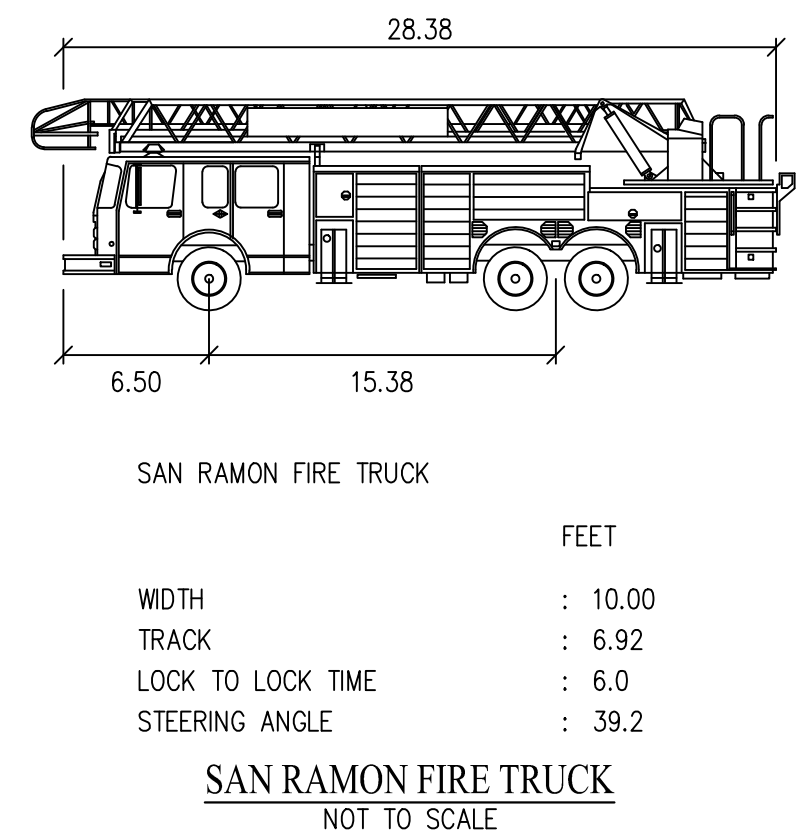
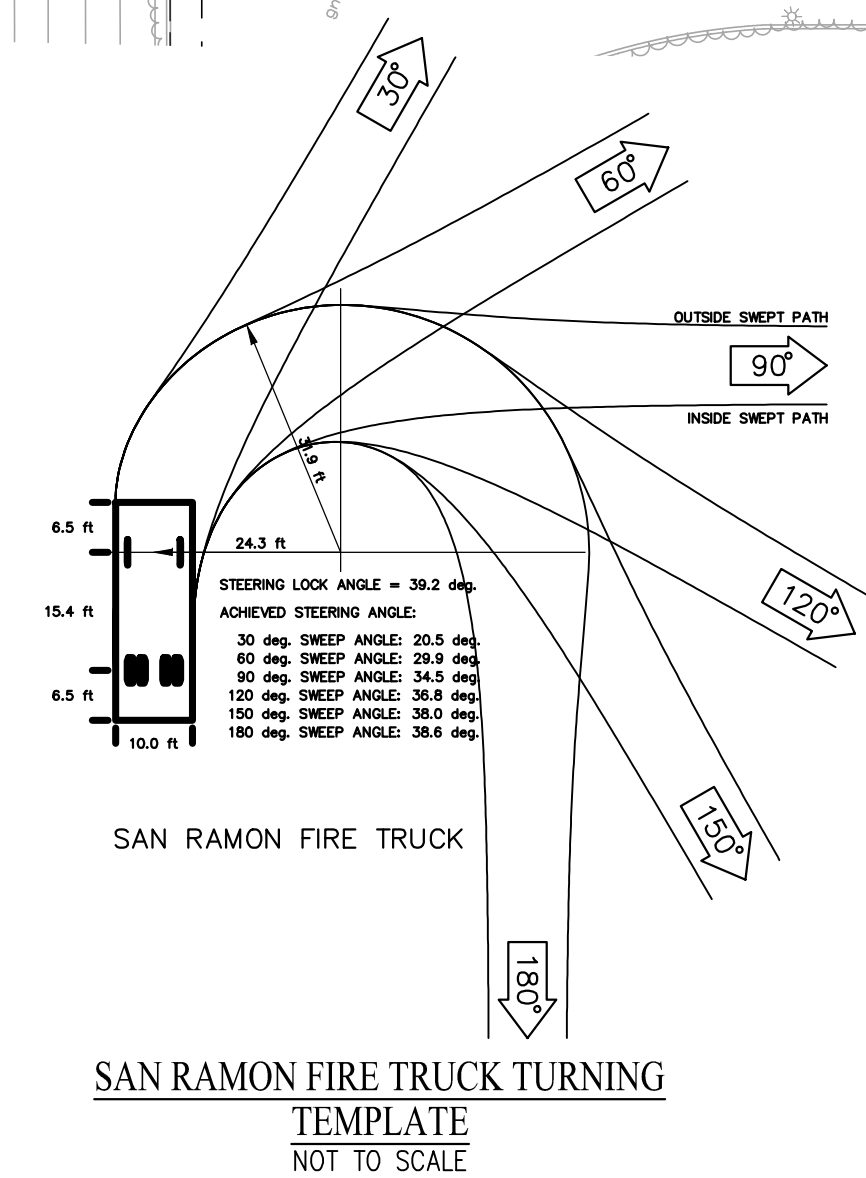


CITY OF SAN RAMON, CA  
3236-010 | 10-13-2021



TOYOTA MOTOR SALES USA  
 M.S. 50-80, 88 PM 10  
 PARCEL 'B'

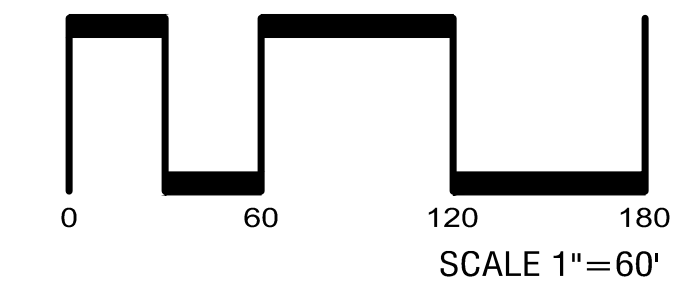
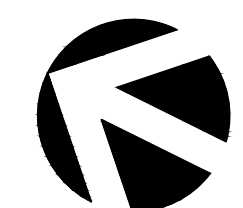
ALEXANDER PROPERTIES CO.  
 TRACT 5967, 253 M. 49  
 LOT 35

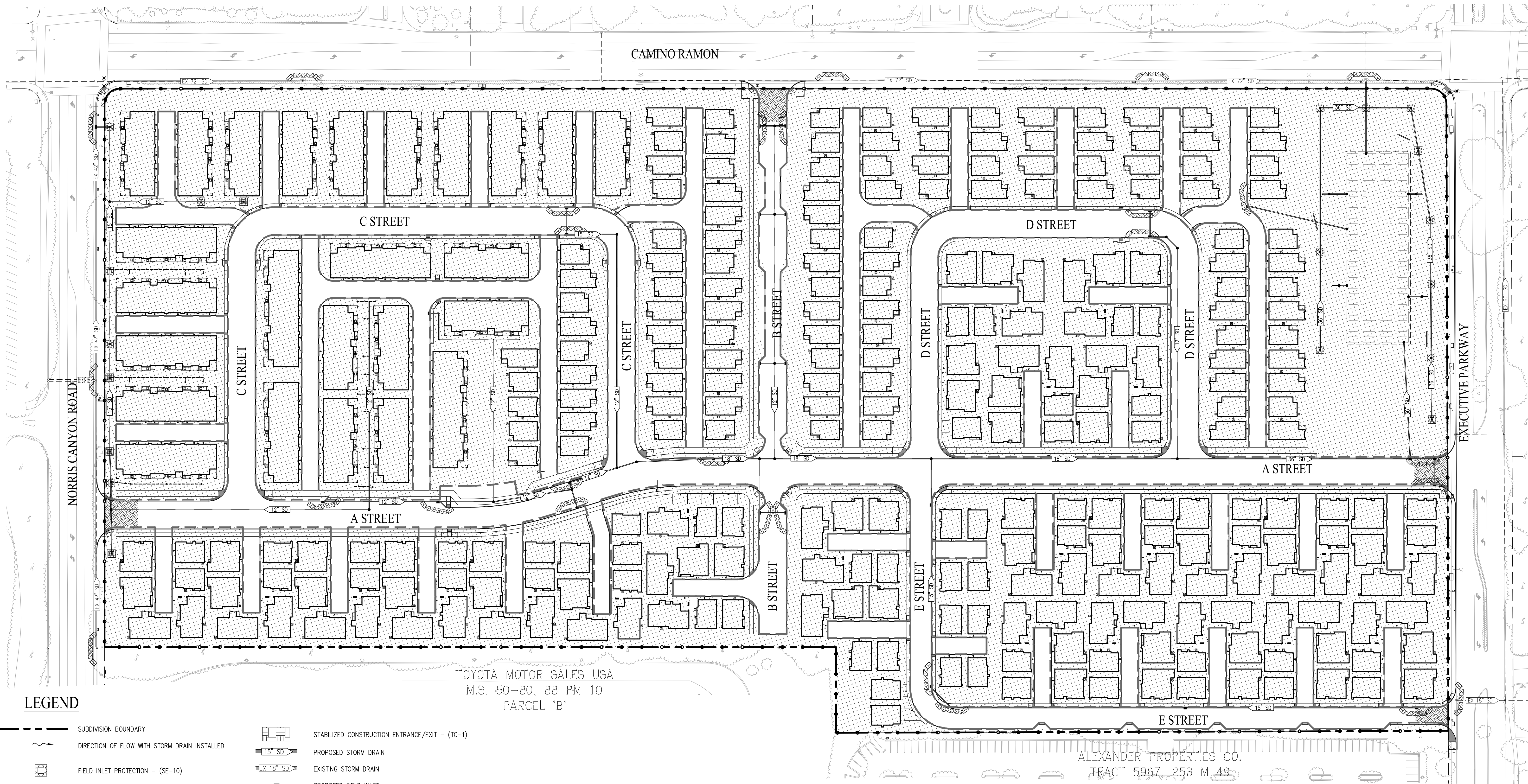


**LEGEND**

---	PROPOSED PROPERTY LINE	---	FIRE DEPARTMENT HOSE REACH (150' MAX)
- - -	ADJACENT PROPERTY LINE	8" W	PROPOSED DOMESTIC WATER SERVICE PIPE
○	EXISTING FIRE HYDRANT	- EX 8" W	EXISTING WATER PIPE
●	PROPOSED FIRE HYDRANT		

- NOTE:**
- FIRE TRUCK TURNING MOVEMENTS REFLECT MOST RESTRICTIVE TURNING MOVEMENTS.
  - MOUNTABLE CURB TO BE PLACED IN FRONT OF FH LOCATED ON STREET LESS THAN 26' WIDE.





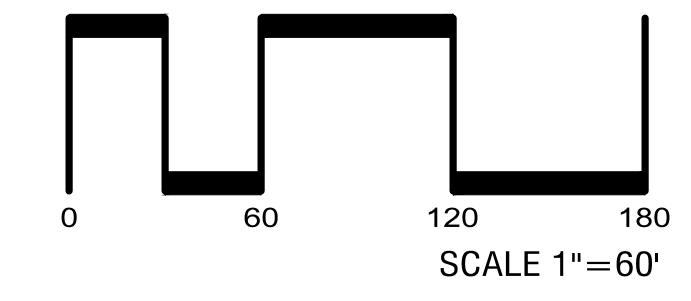
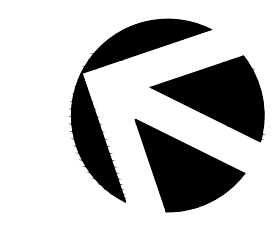
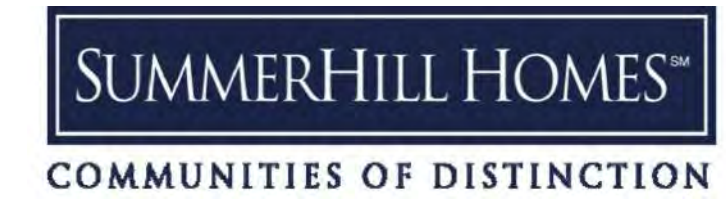
**LEGEND**

- |  |                                              |  |                                                |
|--|----------------------------------------------|--|------------------------------------------------|
|  | SUBDIVISION BOUNDARY                         |  | STABILIZED CONSTRUCTION ENTRANCE/EXIT - (TC-1) |
|  | DIRECTION OF FLOW WITH STORM DRAIN INSTALLED |  | PROPOSED STORM DRAIN                           |
|  | FIELD INLET PROTECTION - (SE-10)             |  | EXISTING STORM DRAIN                           |
|  | CURB INLET PROTECTION - (SE-10)              |  | PROPOSED FIELD INLET                           |
|  | SILT FENCE - (SE-1)                          |  | PROPOSED CATCH BASIN                           |
|  | STRAW WATTLE (FIBER ROLLS) - (SE-5)          |  | PROPOSED CATCH BASIN                           |
|  | HYDROSEED MIX OR HYDROMULCH - (EC-4 OR EC-3) |  | PROPOSED AREA DRAIN                            |
|  |                                              |  | LIMITS OF UNDERGROUND DETENTION PIPES          |

**NOTE:**  
 \* STORMWATER DISCHARGE SAMPLING LOCATIONS ARE SUBJECT TO CHANGE AND WILL BE REMOVED, RELOCATED OR ADDED AT THE OSP'S DISCRETION.

TOYOTA MOTOR SALES USA  
 M.S. 50-80, 88 PM 10  
 PARCEL 'B'

ALEXANDER PROPERTIES CO.  
 TRACT 5967, 253 M 49

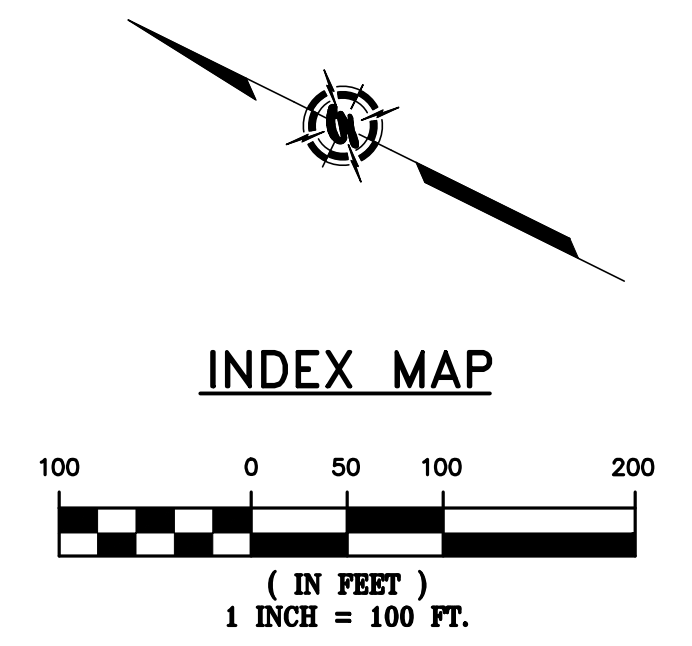
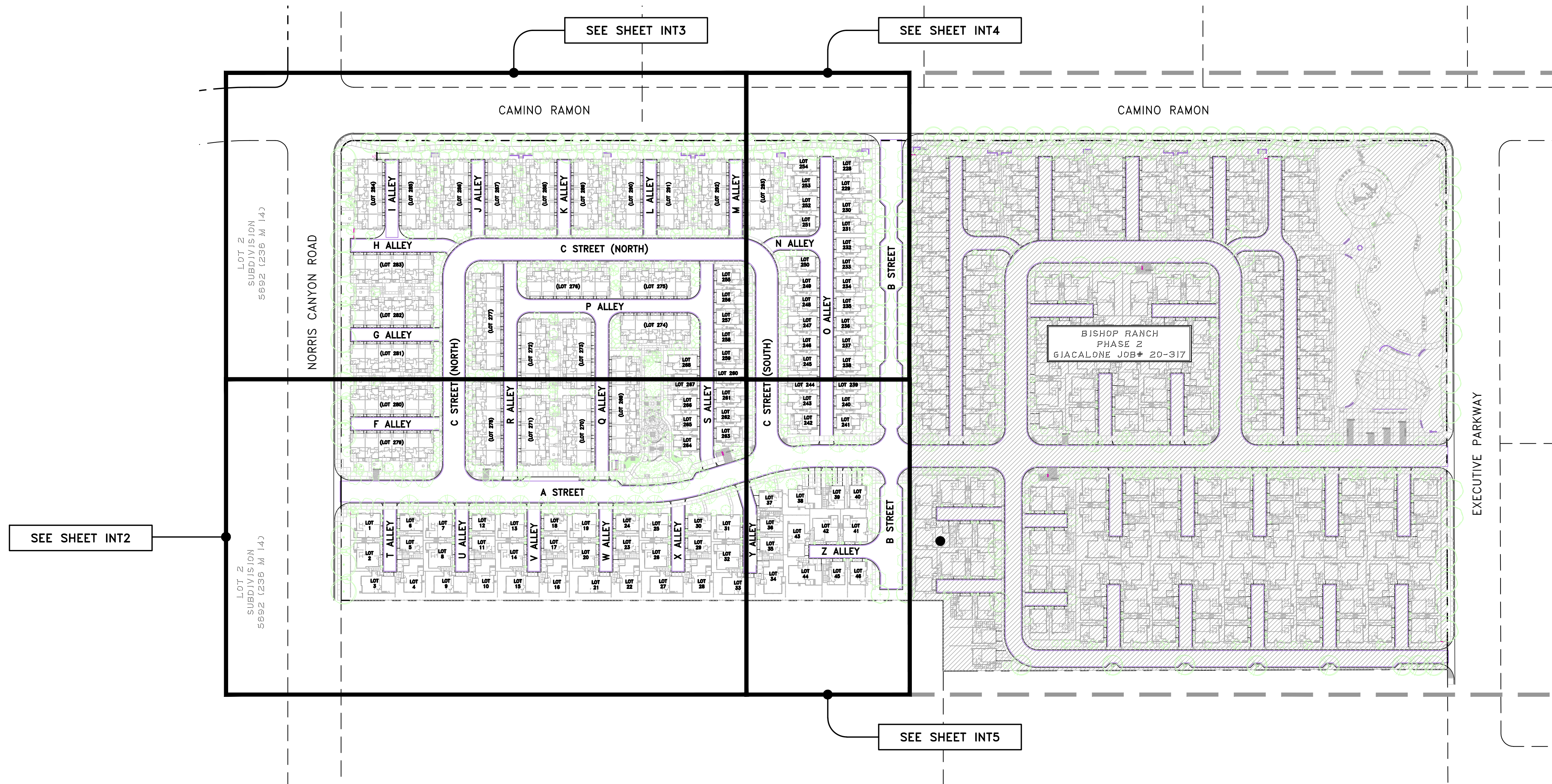
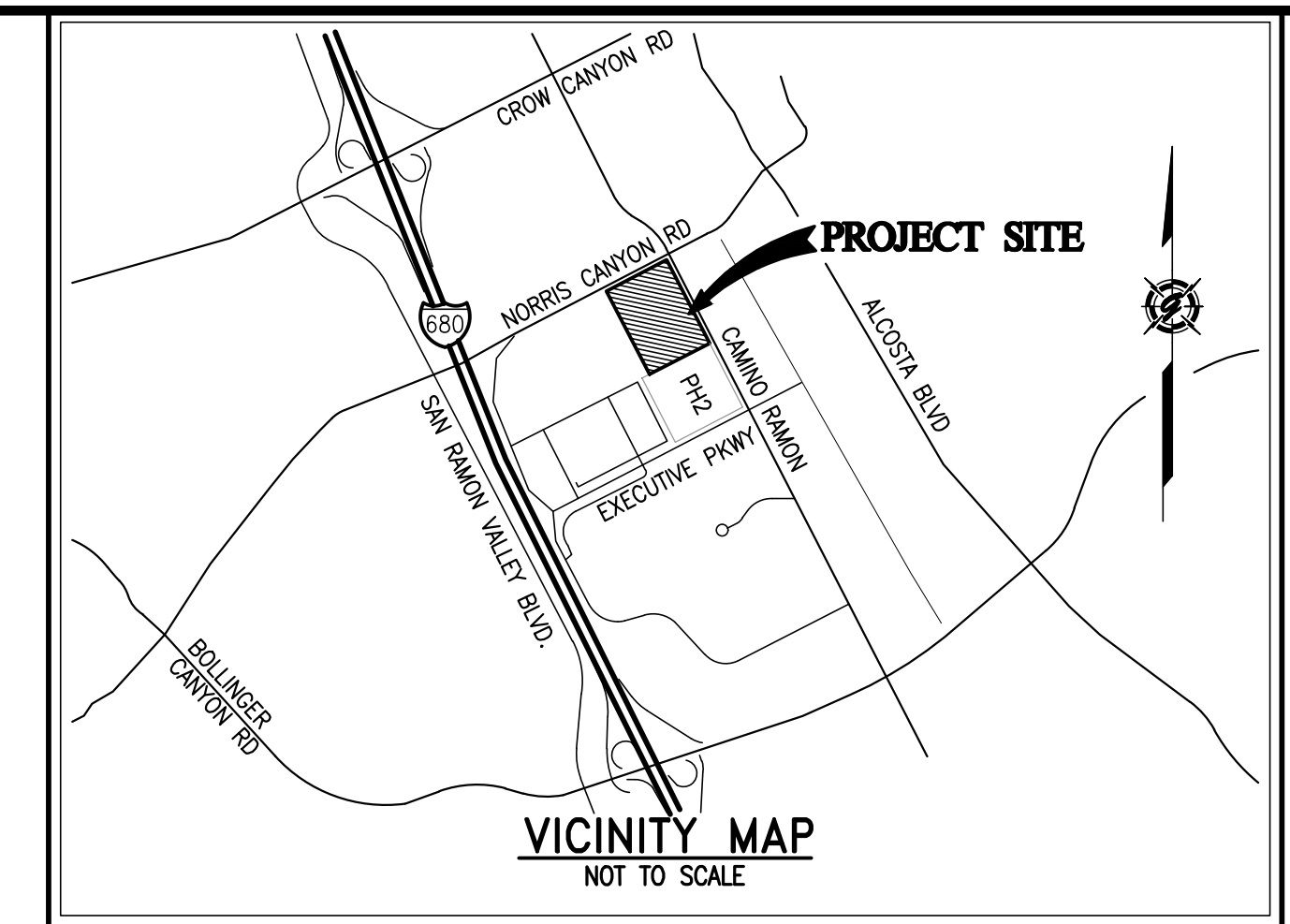


**PRELIMINARY EROSION CONTROL PLAN**  
 SHEET TITLE

TM-9

CITY OF SAN RAMON, CA  
 3236-010 | 10-13-2021

**SUMMERHILL HOMES, LLC  
BISHOP RANCH PHASE 1  
2400-2440 CAMINO RAMON  
SAN RAMON, CALIFORNIA  
(JOINT TRENCH INTENT - NOT FOR CONSTRUCTION)**



**NOTE**  
PLEASE VERIFY THAT THE SERVICE POINTS IN THIS DRAWING MATCH YOUR DESIGN. IF THERE ARE ANY DISCREPANCIES, PLEASE CONTACT THE PROJECT MANAGER IN OUR OFFICE.

**NOTE TO UTILITIES:**  
PLEASE INDICATE TIE-IN POINTS ON INTENT RESPONSE

**PRELIMINARY PLANS  
NOT FOR CONSTRUCTION**

SYMBOL	DATE	REVISIONS

**GIACALONE**  
DESIGN SERVICES, INC.  
5200 STONERIDGE MALL RD., #545 | PLEASANTON, CA 94588  
925.467.1740 | WWW.GIACALONEDSIGN.COM

**JOINT TRENCH INTENT TITLE SHEET**  
SUMMERHILL HOMES, LLC  
BISHOP RANCH PHASE 1  
2400-2440 CAMINO RAMON  
SAN RAMON CALIFORNIA

PROJECT MANAGER:  
ANDREW CUMMINS  
DRAWN BY:  
JPS  
CHECKED BY:  
D. CROWFOOT P.E.  
SCALE:  
1"=100'  
JOB NUMBER:  
20-316  
DATE LAST MODIFIED:  
10-11-21  
SHEET  
**INT1**  
OF 5 SHEETS

PROJECT TEAM CONTACTS		
COMPANY:	CONTACT:	PHONE:
SUMMERHILL HOMES, LLC	JUSTIN HU	650-842-2368
CARLSON, BARBEE & GIBSON	RYAN HANSEN, P.E.	925-866-0322
PG&E	TODD COOK	
AT&T		
CABLECOM		
SDG ARCHITECTS, INC.	RALPH STAUSS	925-216-5555
WHA ARCHITECTS	ROBERT LEE	925-463-1700
GIACALONE DESIGN SERVICES, INC	ANDREW CUMMINS	925-467-1740

PG&E PM NO.
ELECTRIC:
RULE 15:
RULE 16:
RULE 20:
RELOC:
GAS:
RULE 15:
RELOC:

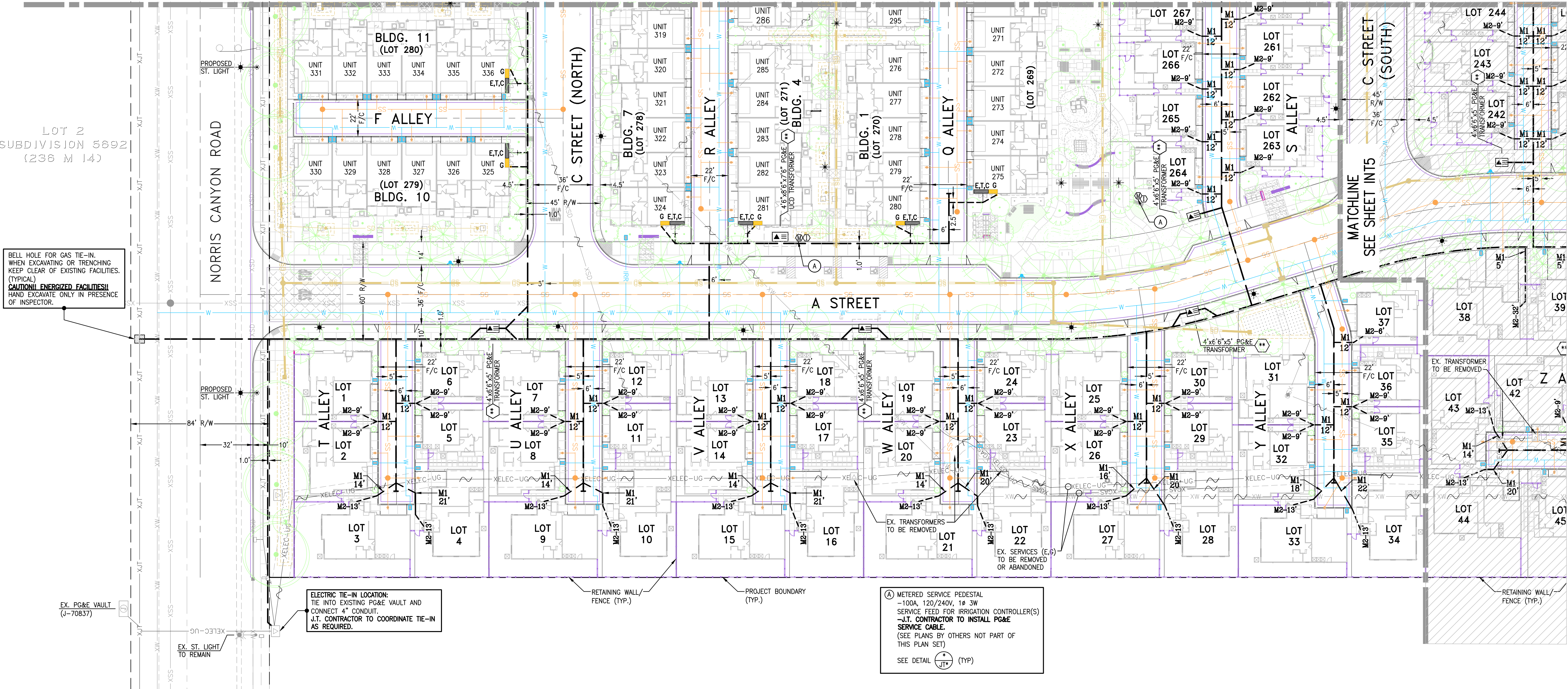
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DESCRIPTION:	BY:	DATE:	STATUS:	
GAS DESIGN				
ELECTRIC DESIGN				
TELEPHONE LAYOUT				
CATV LAYOUT				
STREET LIGHT PLANS - PUBLIC				
STREET LIGHT PLANS - PRIVATE				
IMPROVEMENT PLANS (ELECTRONIC FILE)	CBG	09-23-21		

A=Approved • ANS=Approved Not Signed • NA=Not Approved • F=First Submittal • SS=Second Submittal

PROJECT DESCRIPTION & SCOPE
• NEW E,G,T,C SERVICE TO (87) UNITS CONSISTING OF DETACHED ROW HOMES AND DETACHED COURTYARD HOMES
• NEW E,G,T,C SERVICE TO (136) UNITS CONSISTING OF
- (16) 5-PLEX
- (7) 6-PLEX
- (2) 7-PLEX

SHEET INDEX	
SHEET	DESCRIPTION
INT1	JOINT TRENCH INTENT TITLE SHEET
INT2-INT5	JOINT TRENCH INTENT

MATCHLINE SEE SHEET INT3 MATCHLINE SEE SHEET INT3



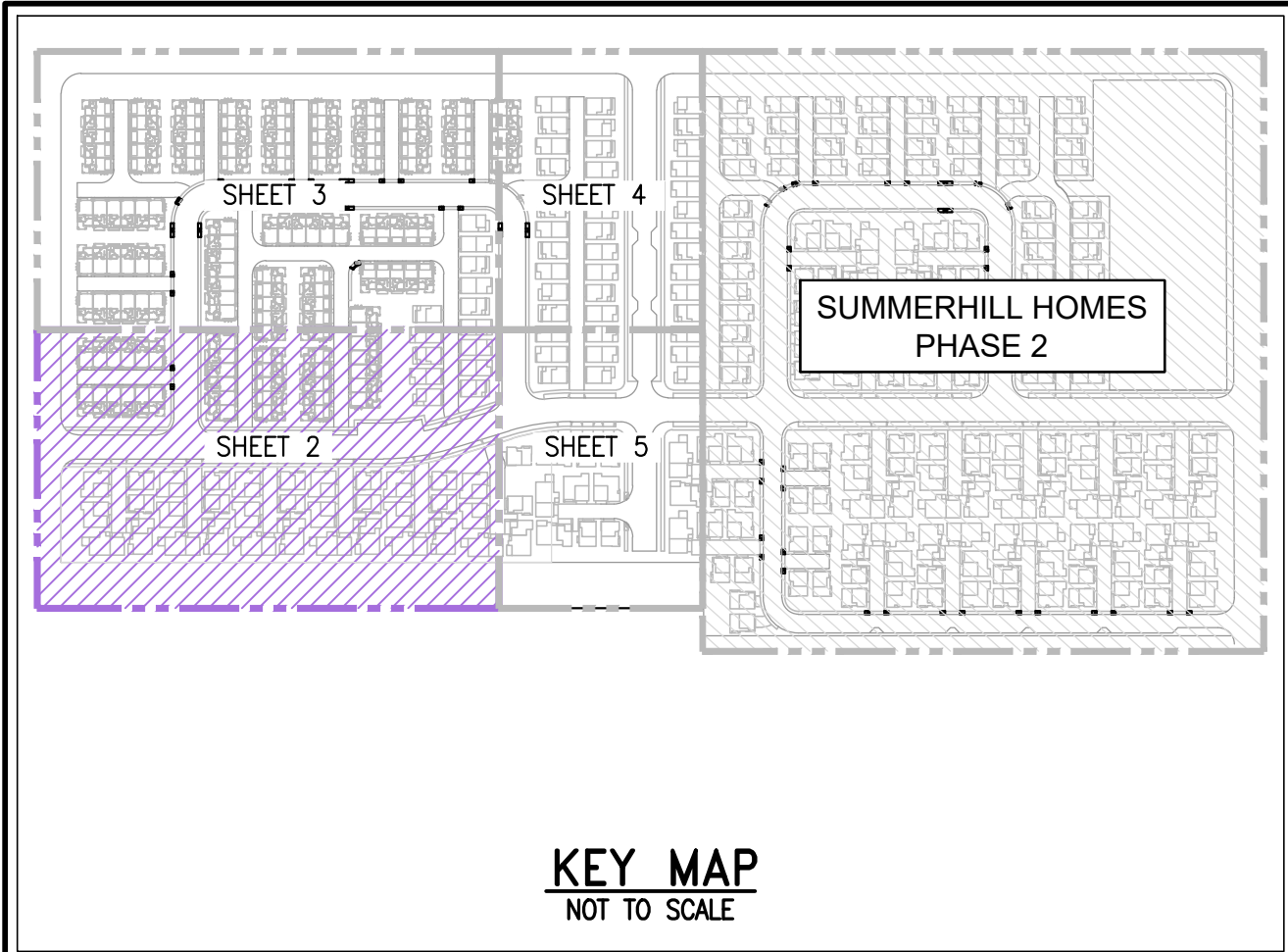
LOT 2  
SUBDIVISION 5692  
(236 M 14)

BELL HOLE FOR GAS TIE-IN.  
WHEN EXCAVATING OR TRENCHING  
KEEP CLEAR OF EXISTING FACILITIES.  
(TYPICAL)  
**CAUTION! ENERGIZED FACILITIES!**  
HAND EXCAVATE ONLY IN PRESENCE  
OF INSPECTOR.

EX. PG&E VAULT  
(J-70837)

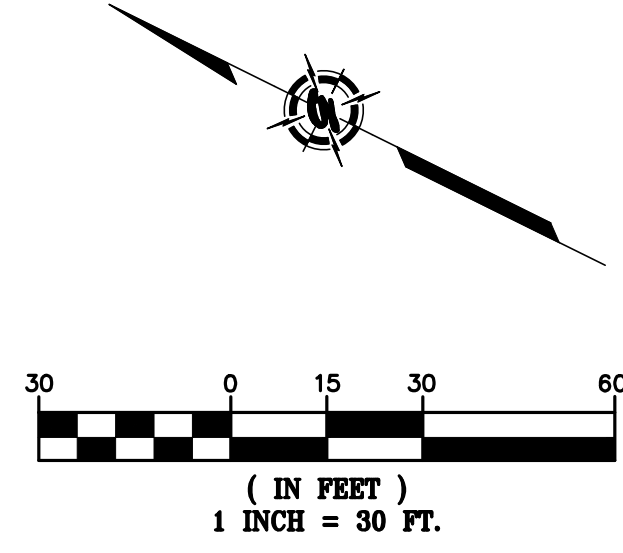
ELECTRIC TIE-IN LOCATION:  
TIE INTO EXISTING PG&E VAULT AND  
CONNECT 4" CONDUIT.  
J.U.T. CONTRACTOR TO COORDINATE TIE-INS  
AS REQUIRED.

(A) METERED SERVICE PEDESTAL  
-100A, 120/240V, 1Ø 3W  
SERVICE FEED FOR IRRIGATION CONTROLLER(S)  
-J.U.T. CONTRACTOR TO INSTALL PG&E  
SERVICE CABLE.  
(SEE PLANS BY OTHERS NOT PART OF  
THIS PLAN SET)  
SEE DETAIL (JTA) (TYP)



LEGEND	
	EXISTING TRENCH OR UTILITIES
	PROPOSED TRENCH (DISTRIBUTION)
	PROPOSED TRENCH (SERVICE)
	PROPOSED STREET LIGHT TRENCH
	EXISTING UTILITY SPLICE BOX
	4'x6'6"x5' PG&E TRANSFORMER
	4'6"x8'6"x7'6" PG&E UCD TRANSFORMER

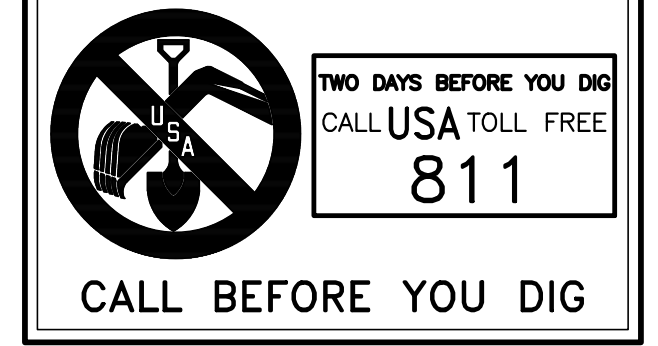
LOAD SUMMARY	
5-PLEX	- (5) RESIDENTIAL + 1 HOUSE ELECTRIC METERS 400AMP 120/208V 3Ø 4W (5) RESIDENTIAL GAS METERS
6-PLEX	- (6) RESIDENTIAL + 1 HOUSE ELECTRIC METERS 600AMP 120/208V 3Ø 4W (6) RESIDENTIAL GAS METERS
7-PLEX	- (7) RESIDENTIAL + 1 HOUSE ELECTRIC METERS 600AMP 120/208V 3Ø 4W (7) RESIDENTIAL GAS METERS
GAS LOAD PER RESIDENTIAL GAS METER	
FAU	- 100 MBTU
RANGE	- 65 MBTU
DRYER	- 35 MBTU
WH	- 200 MBTU
BBQ	- 40 MBTU
FIRE PLACE	- 40 MBTU
TOTAL	480 MBTU



**NOTE**  
PLEASE VERIFY THAT THE SERVICE POINTS IN  
THIS DRAWING MATCH YOUR DESIGN. IF  
THERE ARE ANY DISCREPANCIES, PLEASE  
CONTACT THE PROJECT MANAGER IN OUR  
OFFICE.

**NOTE TO UTILITIES:**  
PLEASE INDICATE TIE-IN  
POINTS ON INTENT RESPONSE

**PRELIMINARY PLANS  
NOT FOR CONSTRUCTION**



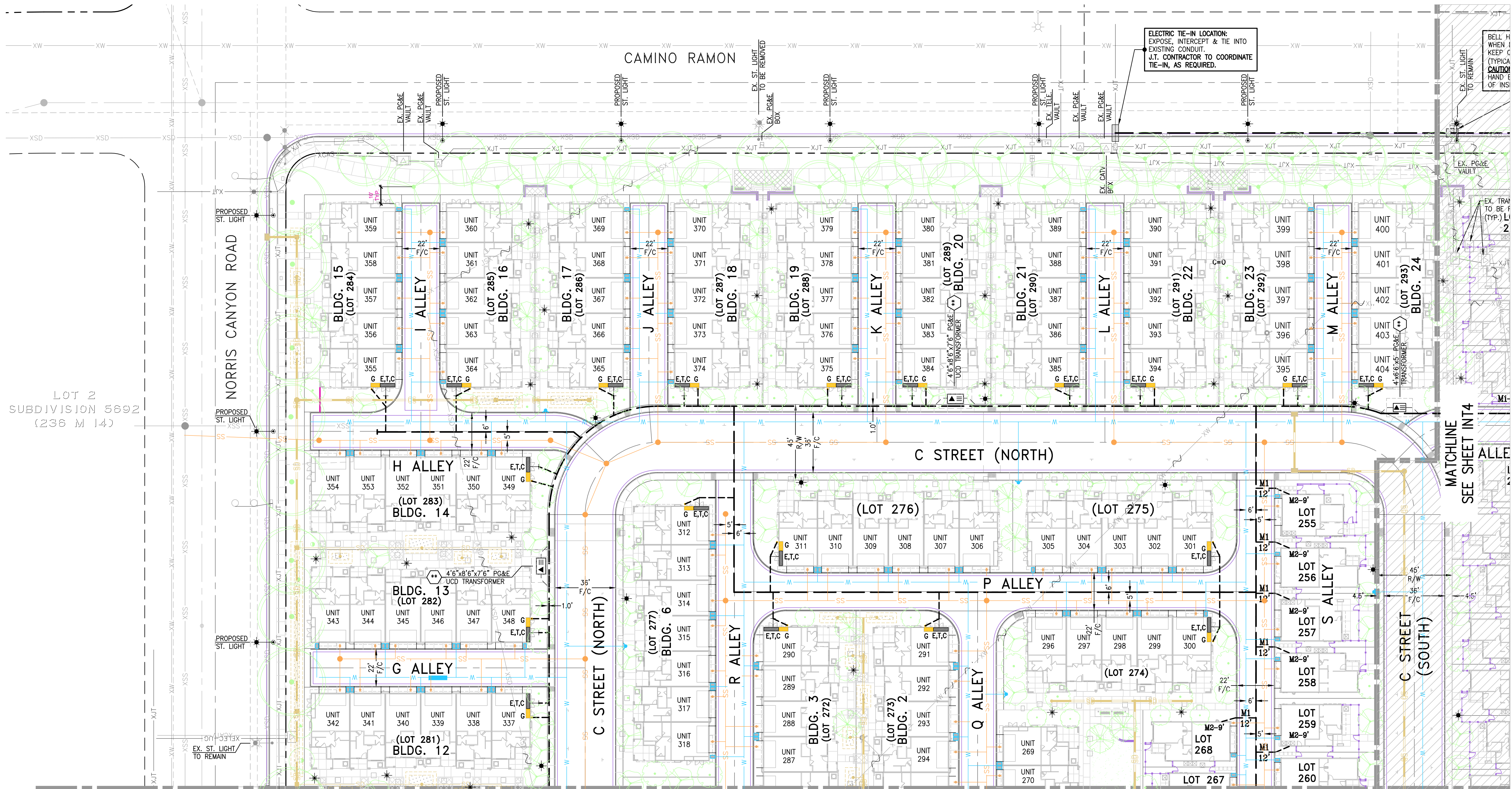
**R/W, P.U.E. & P.S.E. ACQUISITION NOTE:**  
CONTRACTOR TO VERIFY RIGHT OF WAY, PUBLIC UTILITY EASEMENT  
AND/OR PUBLIC SERVICE EASEMENT ACQUISITION WITH THE  
APPLICANT PRIOR TO CONSTRUCTION WITHIN AREAS OF QUESTION.

APPROVED	REVISIONS
SYMBOL	DATE

**GIACALONE**  
DESIGN SERVICES, INC.  
5820 STONERIDGE MALL RD., #545 | REDLANDS, CA 94088  
925.467.1740 | WWW.GIACALONEDSIGN.COM

**JOINT TRENCH INTENT**  
**SUMMERHILL HOMES, LLC**  
**BISHOP RANCH PHASE 1**  
**2400-2440 CAMINO RAMON**  
SAN RAMON CALIFORNIA

PROJECT MANAGER:  
**ANDREW CUMMINS**  
DRAWN BY:  
**JPS**  
CHECKED BY:  
**D. CROWFOOT P.E.**  
SCALE:  
1"=30'  
JOB NUMBER:  
20-316  
DATE LAST MODIFIED:  
10-11-21  
SHEET  
**INT2**  
OF 5 SHEETS



LOT 2  
SUBDIVISION 5692  
(238 M 14)

ELECTRIC TIE-IN LOCATION:  
EXPOSE, INTERCEPT & TIE INTO  
EXISTING CONDUIT.  
J.T. CONTRACTOR TO COORDINATE  
TIE-IN, AS REQUIRED.

BELL H  
WHEN I  
KEEP C  
(TYP. C)  
CAUTION  
HAND E  
OF INS

APPROVED	REVISIONS
	DESCRIPTION
	SYMBOL
	DATE

**GIACALONE**  
DESIGN SERVICES, INC.  
5200 STONERIDGE MALL, RD., #545 | PLEASANTON, CA 94688  
925.467.1740 | WWW.GIACALONEDSIGN.COM

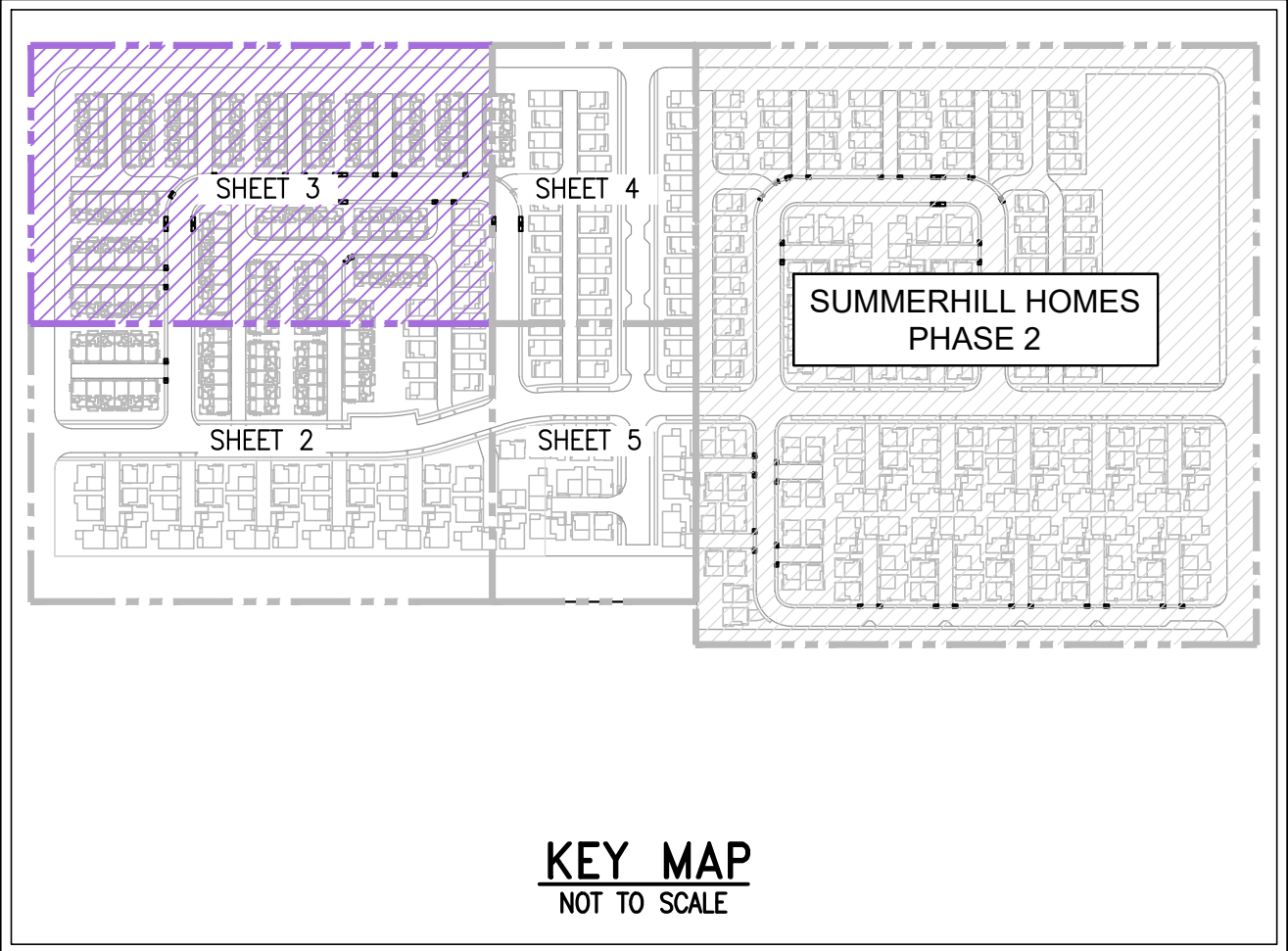
**JOINT TRENCH INTENT**  
SUMMERHILL HOMES, LLC  
BISHOP RANCH PHASE 1  
2400-2440 CAMINO RAMON  
SAN RAMON CALIFORNIA

PROJECT MANAGER:  
ANDREW CUMMINS  
DRAWN BY:  
JPS  
CHECKED BY:  
D. CROWFOOT P.E.  
SCALE:  
1"=30'  
JOB NUMBER:  
20-316  
DATE LAST MODIFIED:  
10-11-21  
SHEET  
**INT3**  
OF 5 SHEETS

MATCHLINE  
SEE SHEET INT2

MATCHLINE  
SEE SHEET INT2

MATCHLINE  
SEE SHEET INT2



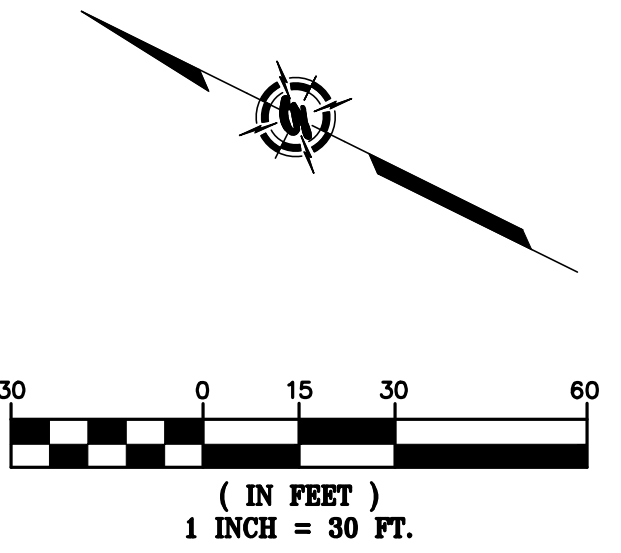
**LEGEND**

	EXISTING TRENCH OR UTILITIES
	PROPOSED TRENCH (DISTRIBUTION)
	PROPOSED TRENCH (SERVICE)
	PROPOSED STREET LIGHT TRENCH
	EXISTING UTILITY SPLICE BOX
	4'x6'6"x5' PG&E TRANSFORMER
	4'x8'6"x7'6" PG&E UCD TRANSFORMER

**LOAD SUMMARY**

5-PLEX	- (5) RESIDENTIAL + 1 HOUSE ELECTRIC METERS 400AMP 120/208V 3Ø 4W (5) RESIDENTIAL GAS METERS
6-PLEX	- (6) RESIDENTIAL + 1 HOUSE ELECTRIC METERS 600AMP 120/208V 3Ø 4W (6) RESIDENTIAL GAS METERS
7-PLEX	- (7) RESIDENTIAL + 1 HOUSE ELECTRIC METERS 600AMP 120/208V 3Ø 4W (7) RESIDENTIAL GAS METERS

GAS LOAD PER RESIDENTIAL GAS METER  
 FAU - 100 MBTU  
 RANGE - 65 MBTU  
 DRYER - 35 MBTU  
 WH - 200 MBTU  
 BBQ - 40 MBTU  
 FIRE PLACE - 40 MBTU  
 TOTAL 480 MBTU



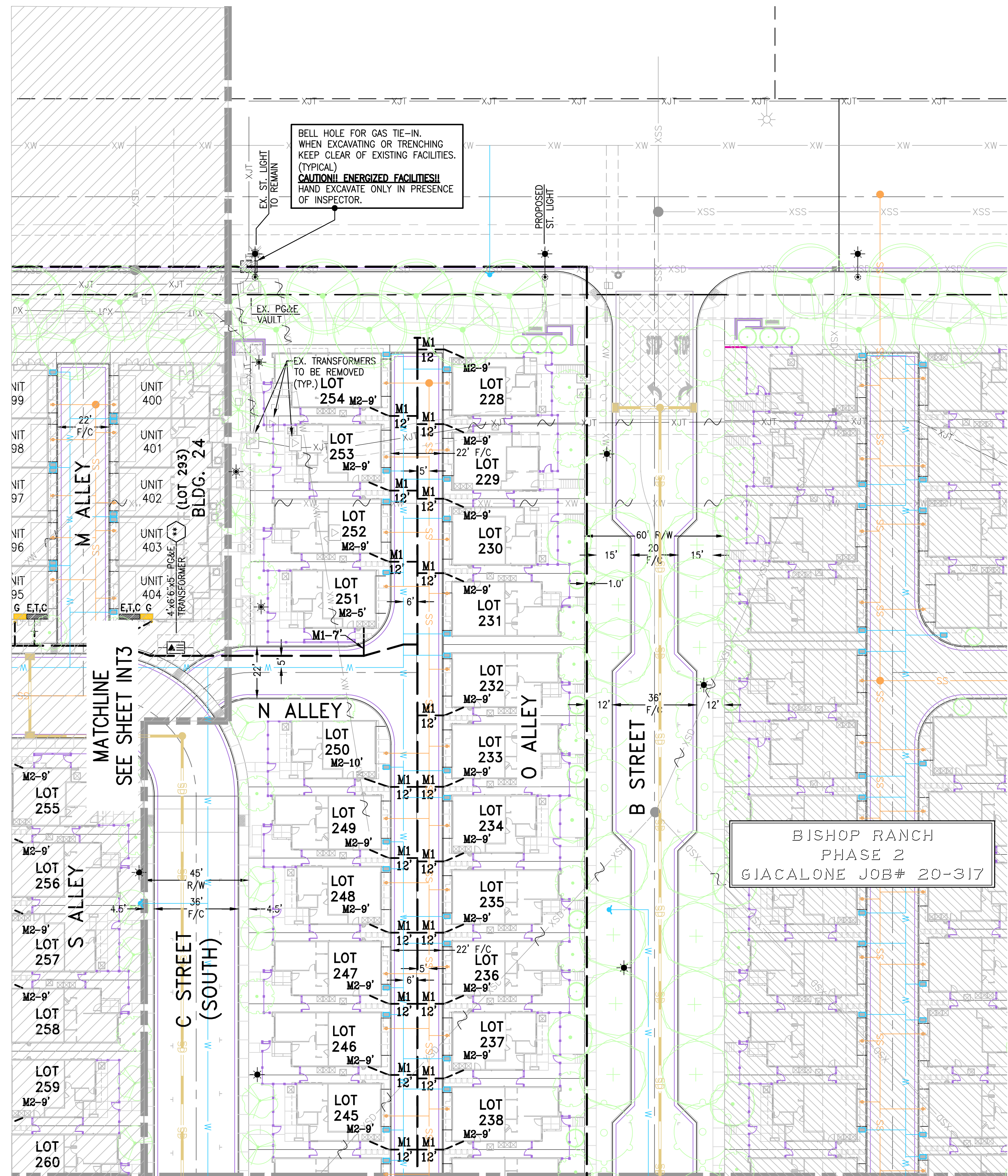
**NOTE**  
PLEASE VERIFY THAT THE SERVICE POINTS IN THIS DRAWING MATCH YOUR DESIGN. IF THERE ARE ANY DISCREPANCIES, PLEASE CONTACT THE PROJECT MANAGER IN OUR OFFICE.

**R/W, P.U.E. & P.S.E. ACQUISITION NOTE:**  
CONTRACTOR TO VERIFY RIGHT OF WAY, PUBLIC UTILITY EASEMENT AND/OR PUBLIC SERVICE EASEMENT ACQUISITION WITH THE APPLICANT PRIOR TO CONSTRUCTION WITHIN AREAS OF QUESTION.

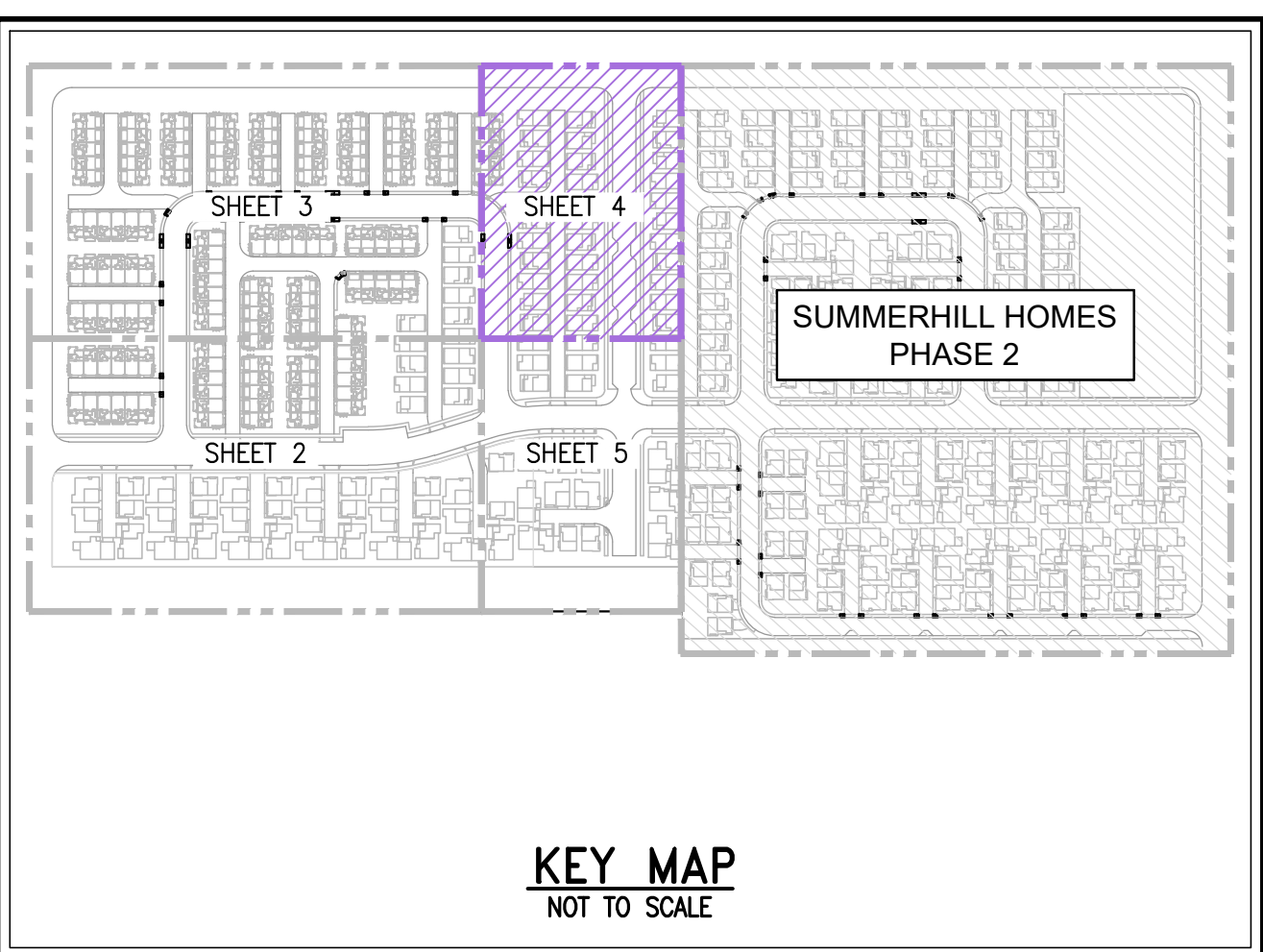
**NOTE TO UTILITIES:**  
PLEASE INDICATE TIE-IN POINTS ON INTENT RESPONSE

**PRELIMINARY PLANS  
NOT FOR CONSTRUCTION**

TWO DAYS BEFORE YOU DIG  
CALL USA TOLL FREE  
**811**  
CALL BEFORE YOU DIG

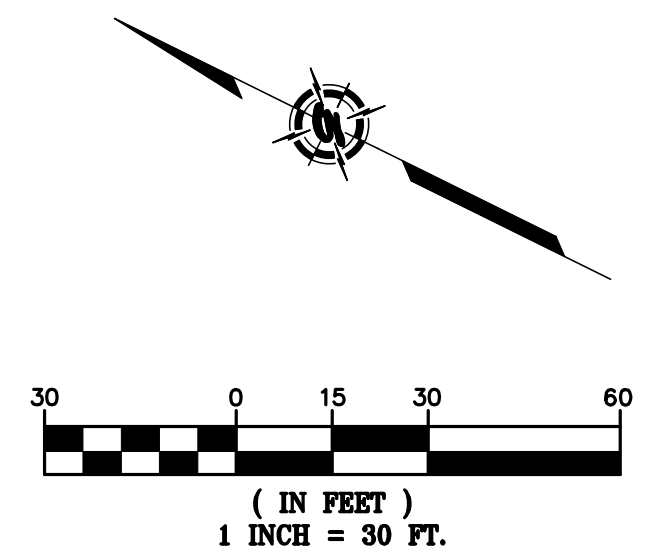


BISHOP RANCH  
PHASE 2  
GIACALONE JOB# 20-317



**LEGEND**

	EXISTING TRENCH OR UTILITIES
	PROPOSED TRENCH (DISTRIBUTION)
	PROPOSED TRENCH (SERVICE)
	PROPOSED STREET LIGHT TRENCH
	EXISTING UTILITY SPLICE BOX
	4'x6'6'x5' PG&E TRANSFORMER
	4'x6'8'x7'6' PG&E UCD TRANSFORMER



**LOAD SUMMARY**

5-PLEX	(5) RESIDENTIAL + 1 HOUSE ELECTRIC METERS 400AMP 120/208V 3Ø 4W (5) RESIDENTIAL GAS METERS
6-PLEX	(6) RESIDENTIAL + 1 HOUSE ELECTRIC METERS 600AMP 120/208V 3Ø 4W (6) RESIDENTIAL GAS METERS
7-PLEX	(7) RESIDENTIAL + 1 HOUSE ELECTRIC METERS 600AMP 120/208V 3Ø 4W (7) RESIDENTIAL GAS METERS
GAS LOAD PER RESIDENTIAL GAS METER	
FAU	100 MBTU
RANGE	65 MBTU
DRYER	35 MBTU
WH	200 MBTU
BBQ	40 MBTU
FIRE PLACE	40 MBTU
TOTAL	480 MBTU

**NOTE**

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**NOTE TO UTILITIES:**

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NOT FOR CONSTRUCTION**

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811  
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REVISIONS

SYMBOL	DATE	DESCRIPTION

**GIACALONE**  
DESIGN SERVICES, INC.  
5200 STONERIDGE MALL, RD., #545 | PLEASANTON, CA 94588  
925.467.1740 | WWW.GIACALONEDSIGN.COM

JOINT TRENCH INTENT  
SUMMERHILL HOMES, LLC  
BISHOP RANCH PHASE 1  
2400-2440 CAMINO RAMON  
SAN RAMON CALIFORNIA

PROJECT MANAGER:  
ANDREW CUMMINS

DRAWN BY:  
JPS

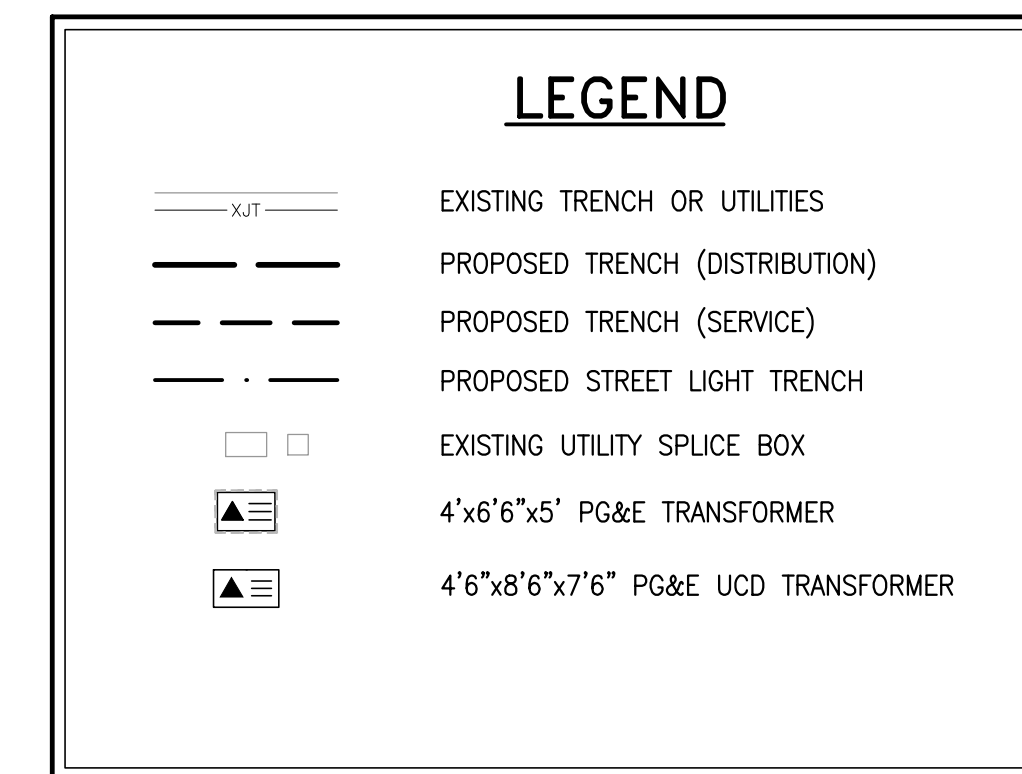
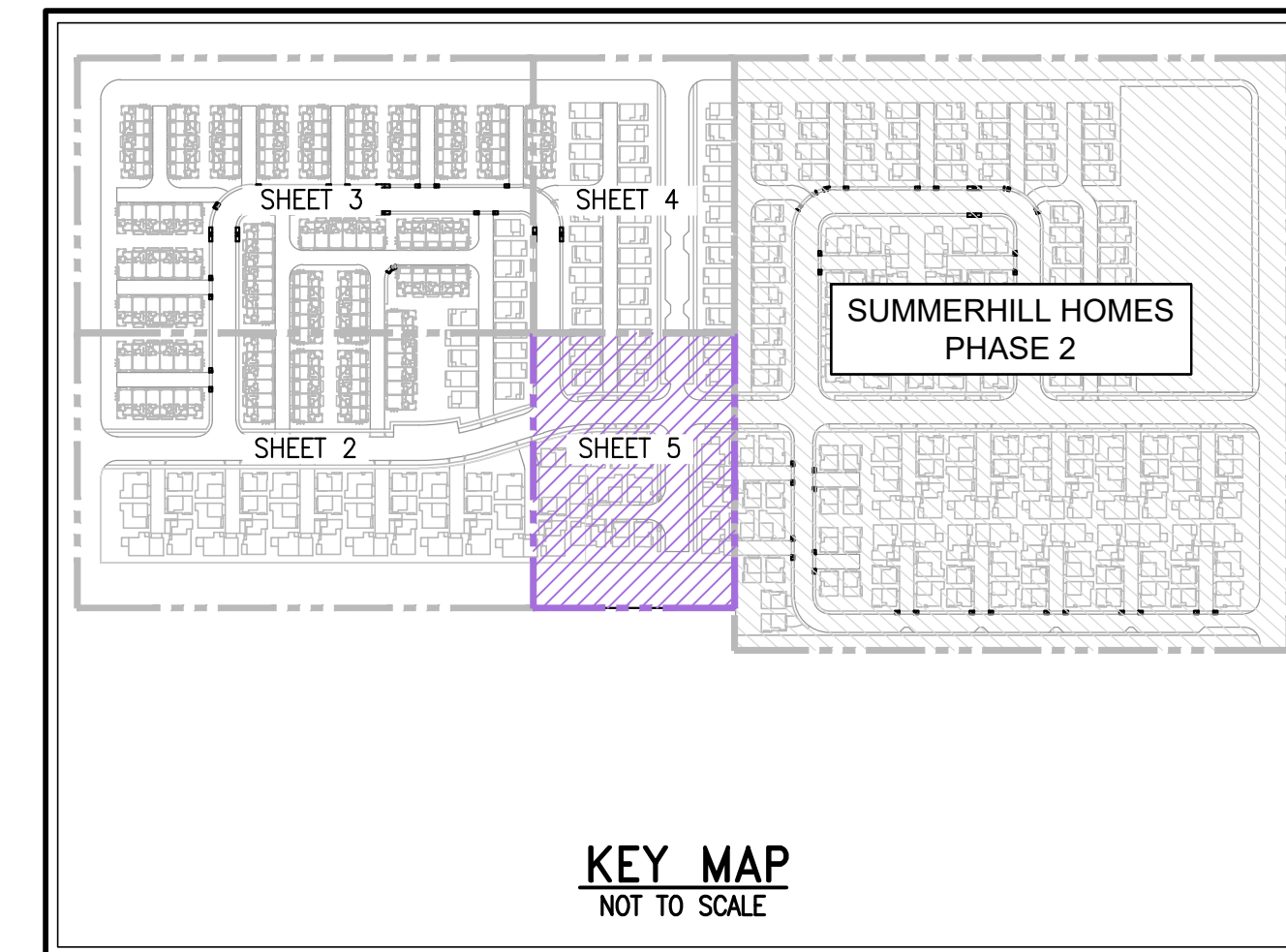
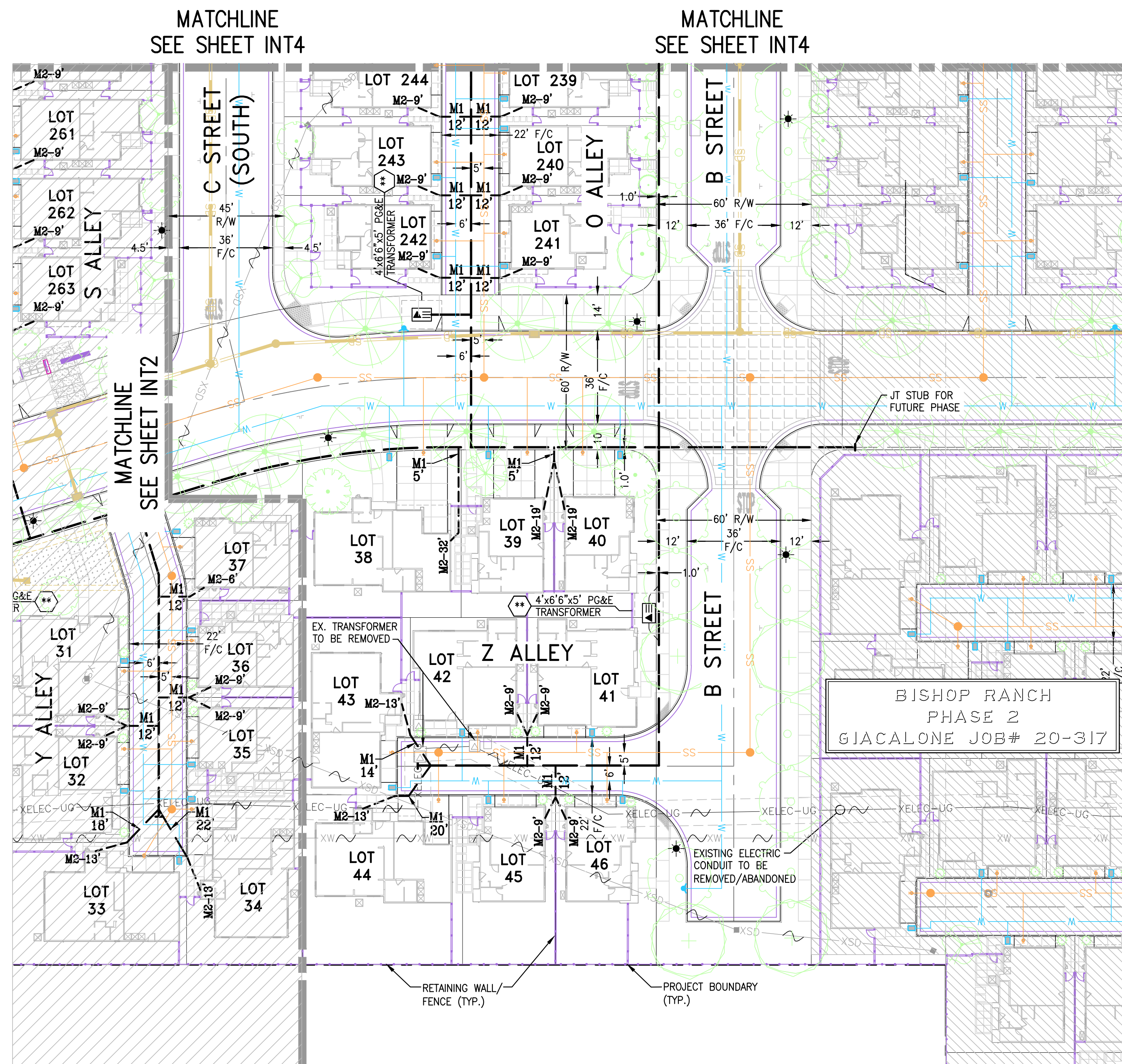
CHECKED BY:  
D. CROWFOOT P.E.

SCALE:  
1"=30'

JOB NUMBER:  
20-316

DATE LAST MODIFIED:  
10-11-21

SHEET  
**INT4**  
OF 5 SHEETS

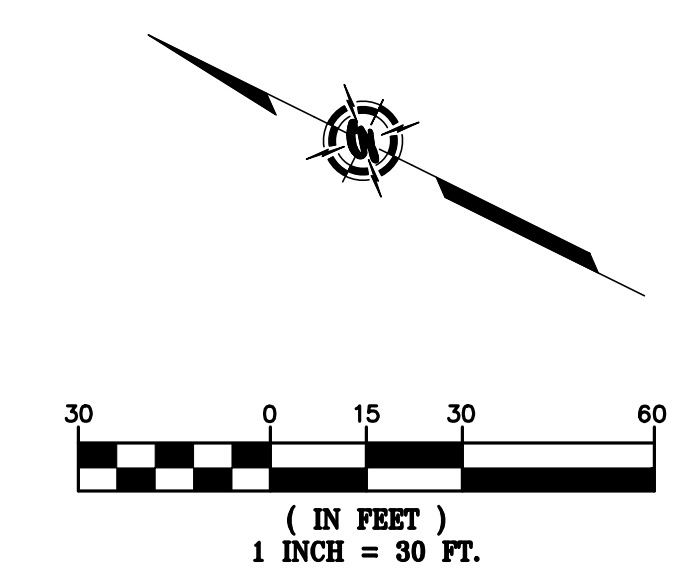


**LOAD SUMMARY**

5-PLEX	- (5) RESIDENTIAL + 1 HOUSE ELECTRIC METERS 400AMP 120/208V 3Ø 4W (5) RESIDENTIAL GAS METERS
6-PLEX	- (6) RESIDENTIAL + 1 HOUSE ELECTRIC METERS 600AMP 120/208V 3Ø 4W (6) RESIDENTIAL GAS METERS
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GAS LOAD PER RESIDENTIAL GAS METER

FAU	- 100 MBTU
RANGE	- 65 MBTU
DRYER	- 35 MBTU
WH	- 200 MBTU
BBO	- 40 MBTU
FIRE PLACE	- 40 MBTU
<b>TOTAL</b>	<b>480 MBTU</b>



**NOTE**

PLEASE VERIFY THAT THE SERVICE POINTS IN THIS DRAWING MATCH YOUR DESIGN. IF THERE ARE ANY DISCREPANCIES, PLEASE CONTACT THE PROJECT MANAGER IN OUR OFFICE.

**NOTE TO UTILITIES:**  
PLEASE INDICATE TIE-IN POINTS ON INTENT RESPONSE

**PRELIMINARY PLANS  
NOT FOR CONSTRUCTION**

**R/W, P.U.E. & P.S.E. ACQUISITION NOTE:**  
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TWO DAYS BEFORE YOU DIG  
CALL USA TOLL FREE  
**811**  
CALL BEFORE YOU DIG

SYMBOL	DATE	REVISIONS	DESCRIPTION

**GIACALONE**  
DESIGN SERVICES, INC.

5200 STONERIDGE MALL, SUITE 100, PLEASANTON, CA 94588  
925-467-1740 | WWW.GIACALONEDSIGN.COM

**JOINT TRENCH INTENT**

**SUMMERHILL HOMES, LLC**  
**BISHOP RANCH PHASE 1**  
**2400-2440 CAMINO RAMON**  
**SAN RAMON CALIFORNIA**

PROJECT MANAGER:  
ANDREW CUMMINS

DRAWN BY:  
JPS

CHECKED BY:  
D. CROWFOOT P.E.

SCALE:  
1"=30'

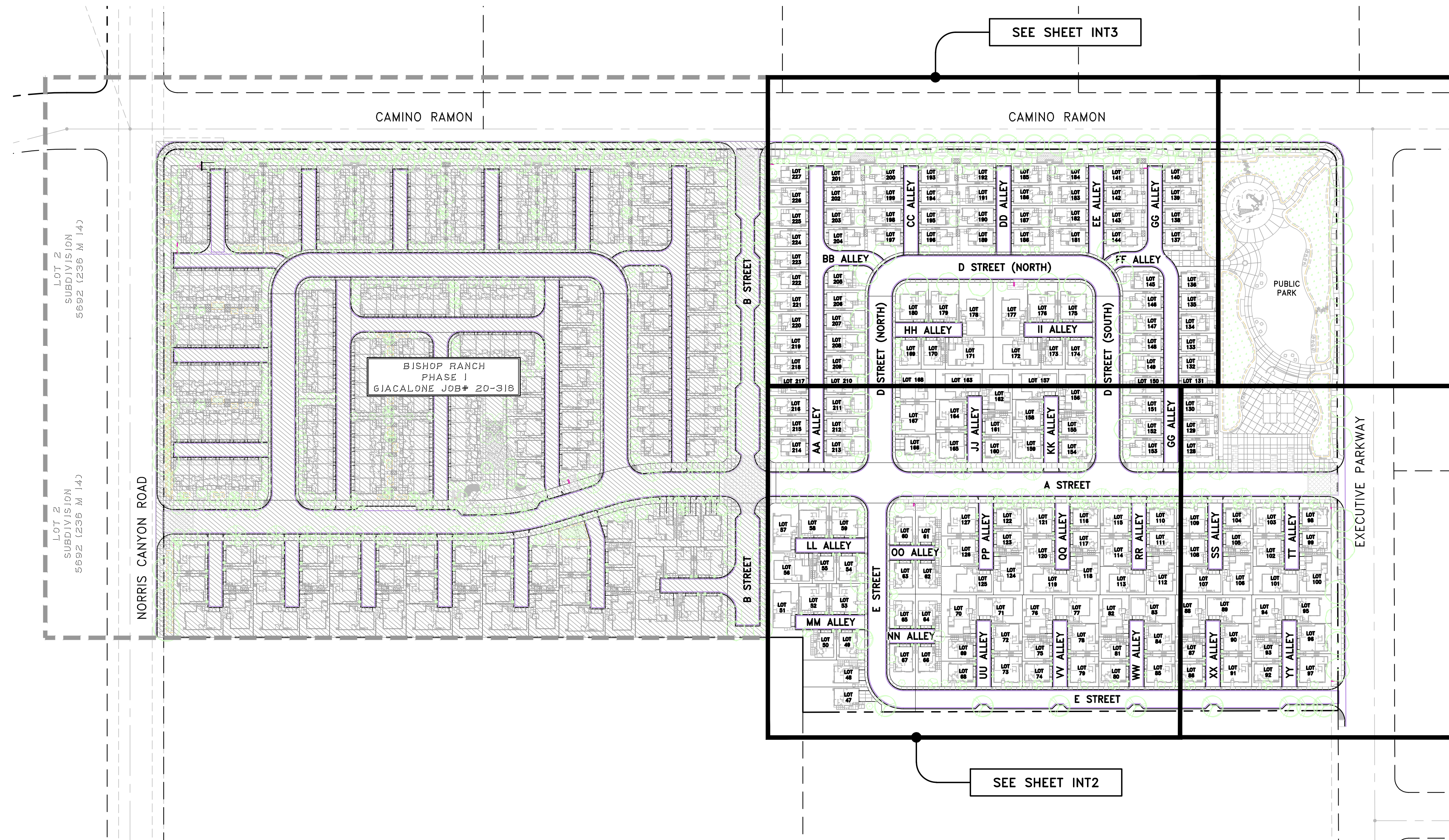
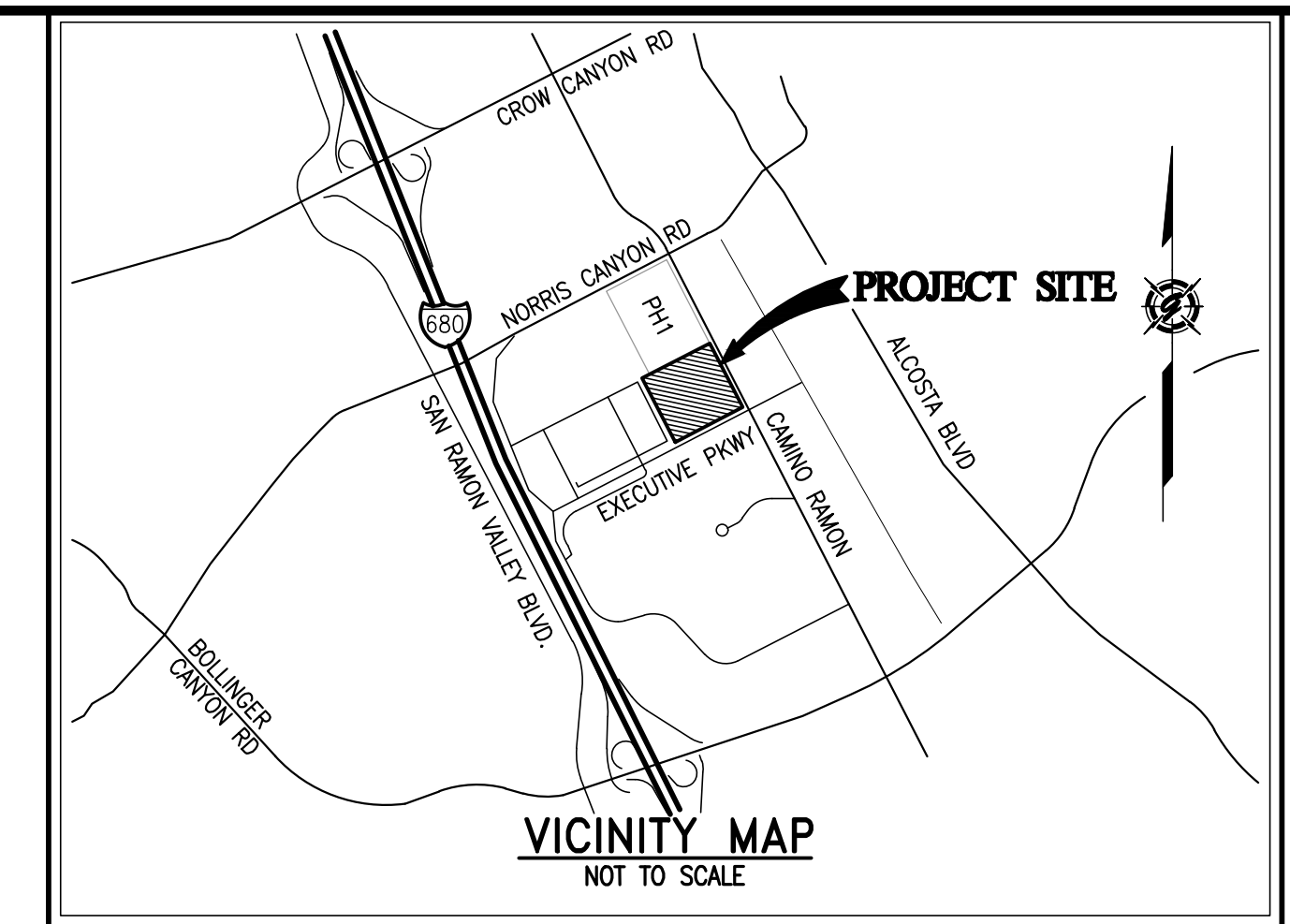
JOB NUMBER:  
20-316

DATE LAST MODIFIED:  
10-11-21

SHEET  
**INT5**  
OF 5 SHEETS



**SUMMERHILL HOMES, LLC  
BISHOP RANCH PHASE 2  
2400-2440 CAMINO RAMON  
SAN RAMON, CALIFORNIA  
(JOINT TRENCH INTENT - NOT FOR CONSTRUCTION)**

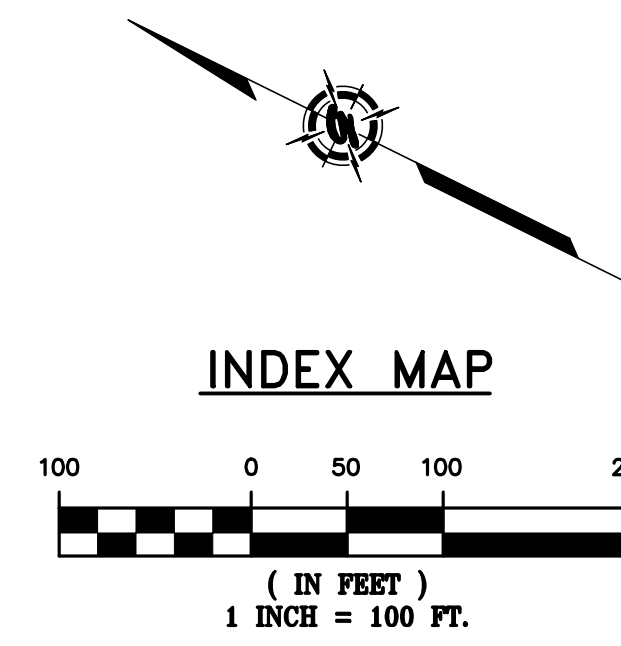


SEE SHEET INT4 (RT)

SEE SHEET INT4 (LT)

SEE SHEET INT3

SEE SHEET INT2



**NOTE**  
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**PRELIMINARY PLANS  
NOT FOR CONSTRUCTION**

SYMBOL	DATE	DESCRIPTION	APPROVED

**GIACALONE**  
DESIGN SERVICES, INC.  
5820 STONERIDGE MALL RD., #545 | PLEASANTON, CA 94588  
925-467-1740 | WWW.GIACALONEDSIGN.COM

**JOINT TRENCH INTENT TITLE SHEET**

**SUMMERHILL HOMES, LLC  
BISHOP RANCH PHASE 2  
2400-2440 CAMINO RAMON  
SAN RAMON CALIFORNIA**

PROJECT MANAGER:  
ANDREW CUMMINS

DRAWN BY:  
JPS

CHECKED BY:  
D. CROWFOOT P.E.

SCALE:  
1"=100'

JOB NUMBER:  
20-317

DATE LAST MODIFIED:  
10-11-21

**SHEET  
INT1  
OF 4 SHEETS**

PROJECT TEAM CONTACTS		
COMPANY:	CONTACT:	PHONE:
SUMMERHILL HOMES, LLC	JUSTIN HU	650-842-2368
CARLSON, BARBEE & GIBSON	RYAN HANSEN, P.E.	925-866-0322
PG&E	TODD COOK	
AT&T		
CABLECOM		
SDG ARCHITECTS, INC.	RALPH STAUSS	925-216-5555
WHA ARCHITECTS	ROBERT LEE	925-463-1700
GIACALONE DESIGN SERVICES, INC	ANDREW CUMMINS	925-467-1740

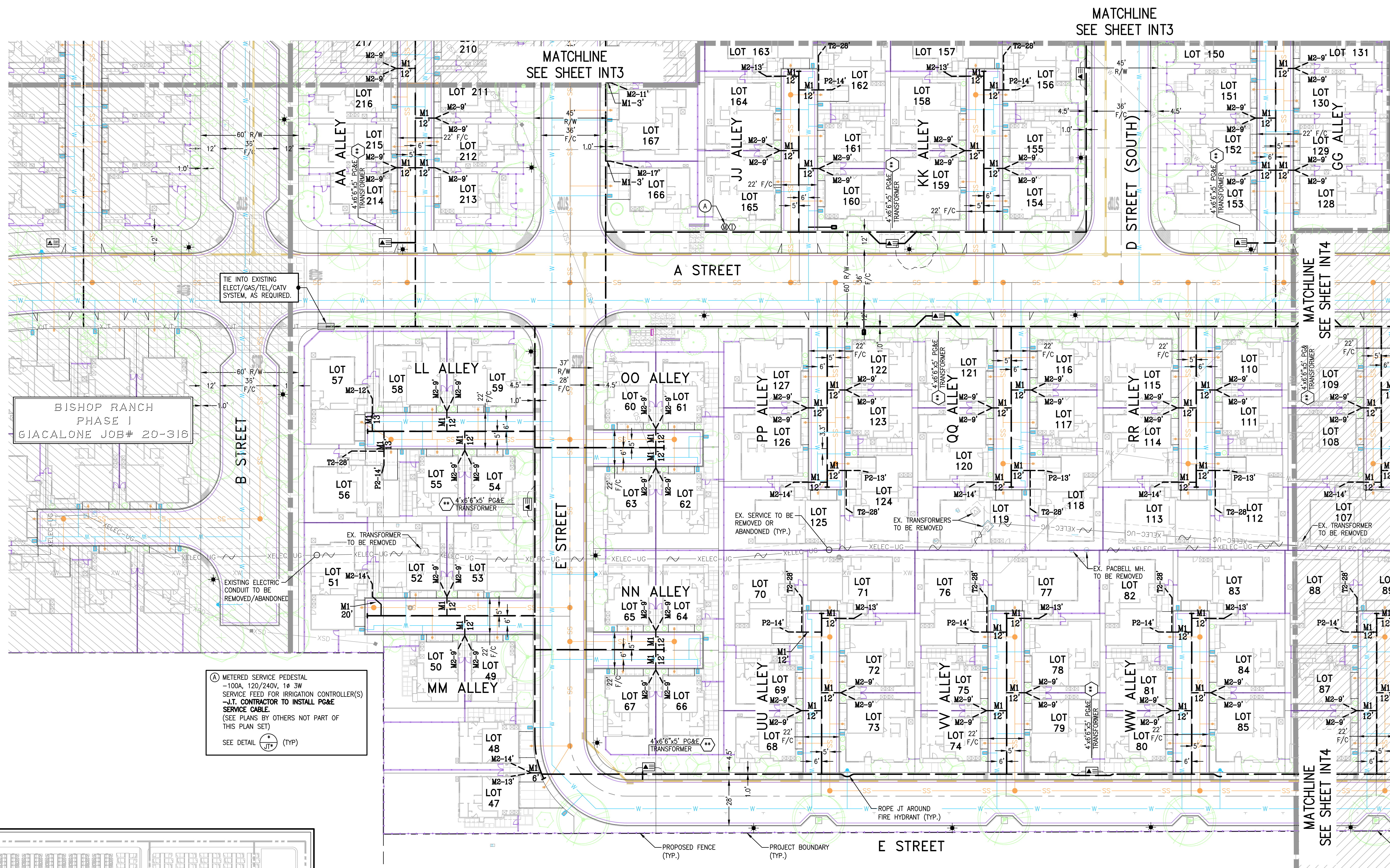
PG&E PM NO.
ELECTRIC:
RULE 15:
RULE 16:
RULE 20:
RELOC:
GAS:
RULE 15:
RELOC:

LATEST FILES RECEIVED				
DESCRIPTION:	BY:	DATE:	STATUS:	
GAS DESIGN				
ELECTRIC DESIGN				
TELEPHONE LAYOUT				
CATV LAYOUT				
STREET LIGHT PLANS - PUBLIC				
STREET LIGHT PLANS - PRIVATE				
IMPROVEMENT PLANS (ELECTRONIC FILE)		9-23-21		

A=Approved • ANS=Approved Not Signed • NA=Not Approved • F=First Submittal • SS=Second Submittal

PROJECT DESCRIPTION & SCOPE
<ul style="list-style-type: none"> <li>NEW E,G,T,C SERVICE TO (238) UNITS CONSISTING OF DETACHED COURTYARD HOMES (P2A, P2B &amp; P2D AND DETACHED ROW HOMES (P1B) AND DETACHED TOWN HOMES (P3).</li> <li>SERVICE TO AMENITY BUILDINGS.</li> </ul>

SHEET INDEX	
SHEET	DESCRIPTION
INT1	JOINT TRENCH INTENT TITLE SHEET
INT2-INT4	JOINT TRENCH INTENT



MATCHLINE  
SEE SHEET INT3

MATCHLINE  
SEE SHEET INT3

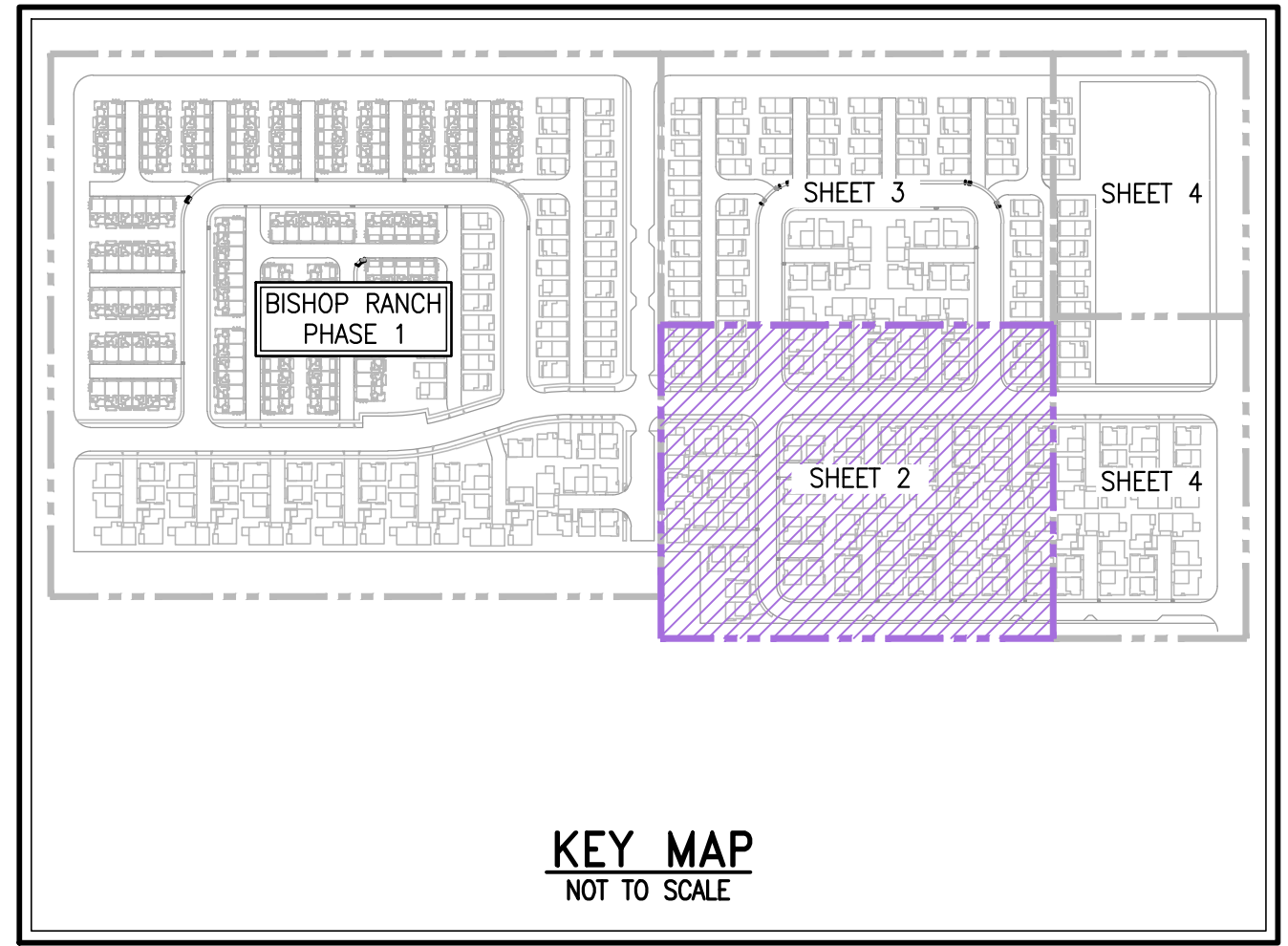
MATCHLINE  
SEE SHEET INT4

MATCHLINE  
SEE SHEET INT4

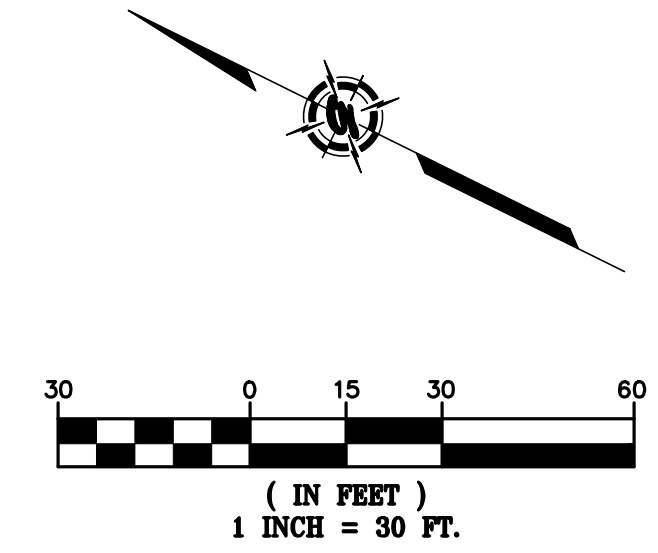
BISHOP RANCH  
PHASE 1  
GIACALONE JOB# 20-316

TIE INTO EXISTING  
ELECT/GAS/TEL/CATV  
SYSTEM, AS REQUIRED.

(A) METERED SERVICE PEDESTAL  
-100A, 120/240V, 1Ø 3W  
SERVICE FEED FOR IRRIGATION CONTROLLER(S)  
-J.T. CONTRACTOR TO INSTALL PG&E  
SERVICE CABLE  
(SEE PLANS BY OTHERS NOT PART OF  
THIS PLAN SET)  
SEE DETAIL (TYP)



LEGEND	
	EXISTING TRENCH OR UTILITIES
	PROPOSED TRENCH (DISTRIBUTION)
	PROPOSED TRENCH (SERVICE)
	PROPOSED STREET LIGHT TRENCH
	EXISTING UTILITY SPLICE BOX
	4'x6'x5' PG&E TRANSFORMER



**NOTE**  
PLEASE VERIFY THAT THE SERVICE POINTS IN THIS DRAWING MATCH YOUR DESIGN. IF THERE ARE ANY DISCREPANCIES, PLEASE CONTACT THE PROJECT MANAGER IN OUR OFFICE.

**R/W, P.U.E. & P.S.E. ACQUISITION NOTE:**  
CONTRACTOR TO VERIFY RIGHT OF WAY, PUBLIC UTILITY EASEMENT AND/OR PUBLIC SERVICE EASEMENT ACQUISITION WITH THE APPLICANT PRIOR TO CONSTRUCTION WITHIN AREAS OF QUESTION.

**NOTE TO UTILITIES:**  
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**PRELIMINARY PLANS  
NOT FOR CONSTRUCTION**

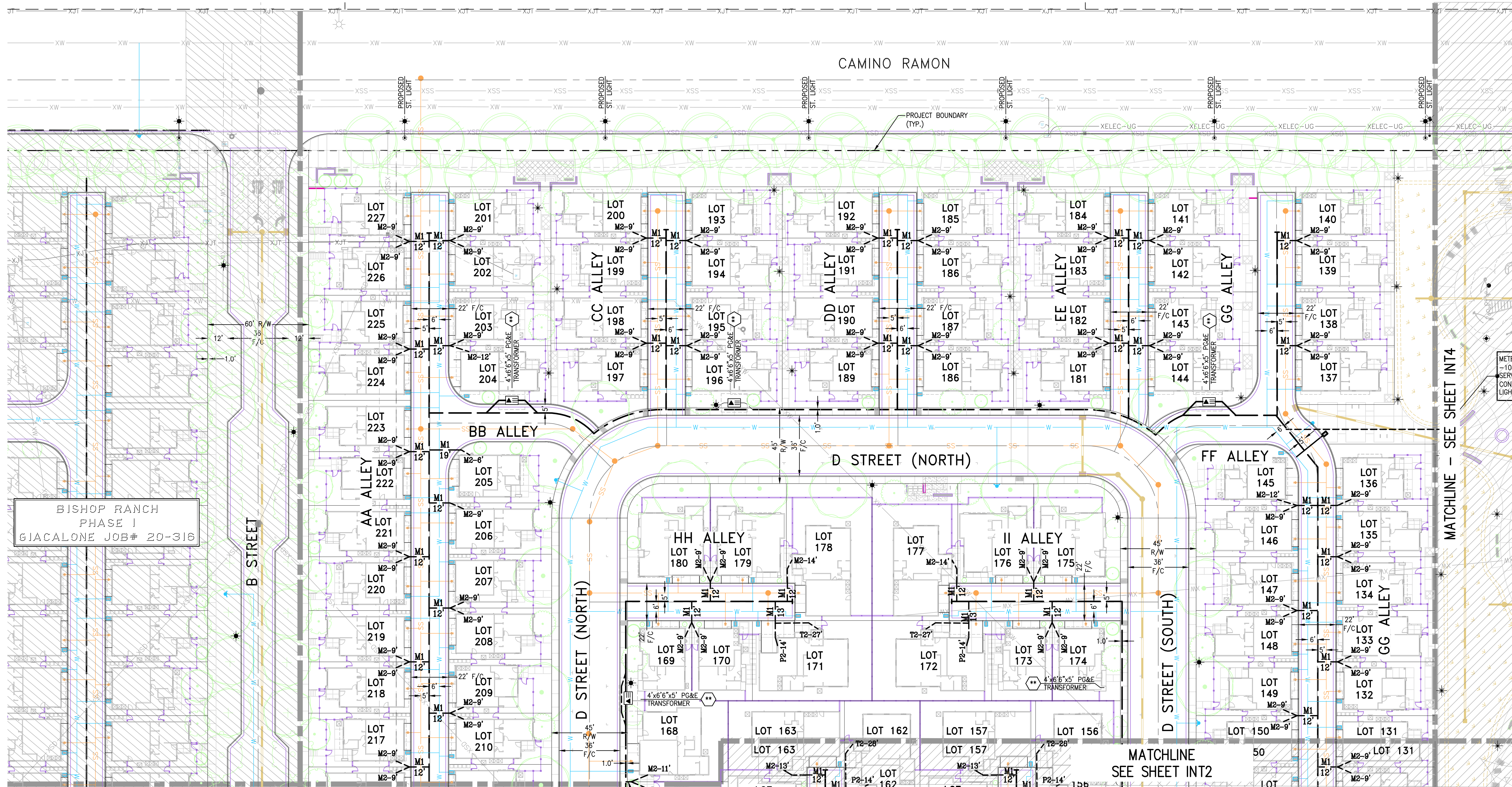
TWO DAYS BEFORE YOU DIG  
CALL USA TOLL FREE  
**811**  
CALL BEFORE YOU DIG

APPROVED	REVISIONS
SYMBOL	DATE

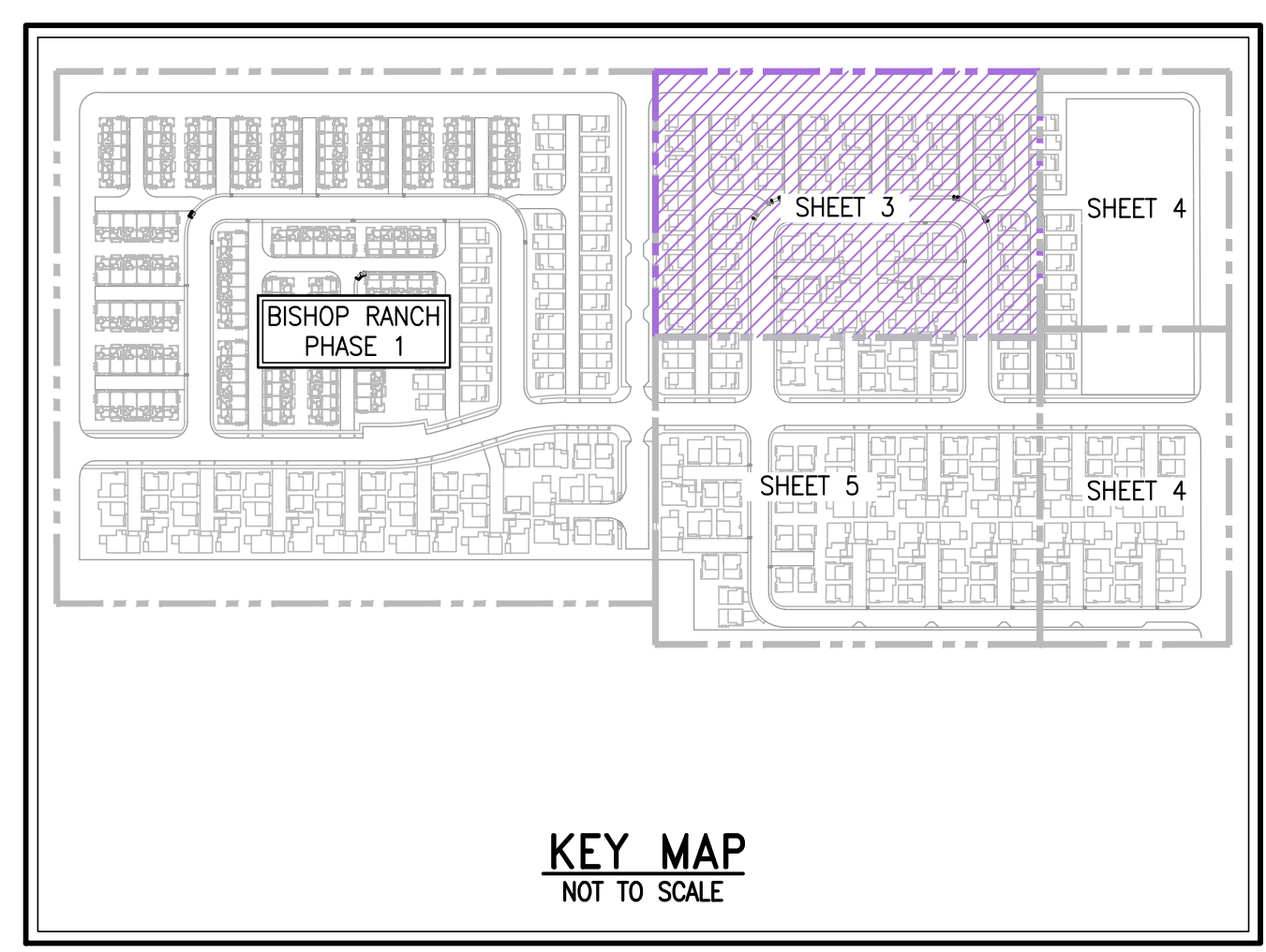
**GIACALONE**  
DESIGN SERVICES, INC.  
5820 STONERIDGE MALL RD., #545 | PLEASANTON, CA 94688  
925-467-1740 | WWW.GIACALONEDSIGN.COM

**JOINT TRENCH INTENT**  
SUMMERHILL HOMES, LLC  
BISHOP RANCH PHASE 2  
2400-2440 CAMINO RAMON  
SAN RAMON CALIFORNIA

PROJECT MANAGER:  
ANDREW CUMMINS  
DRAWN BY:  
JPS  
CHECKED BY:  
D. CROWFOOT P.E.  
SCALE:  
1"=30'  
JOB NUMBER:  
20-317  
DATE LAST MODIFIED:  
10-11-21  
SHEET  
**INT2**  
OF 4 SHEETS

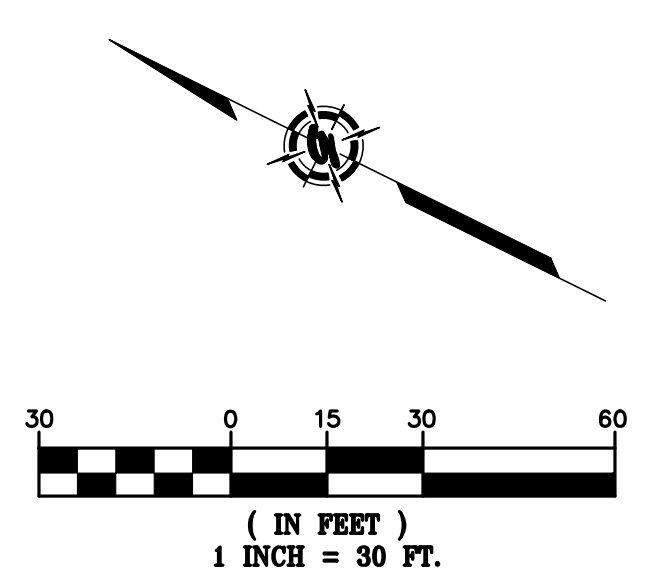


BISHOP RANCH  
PHASE 1  
GIACALONE JOB# 20-316



**LEGEND**

	EXISTING TRENCH OR UTILITIES
	PROPOSED TRENCH (DISTRIBUTION)
	PROPOSED TRENCH (SERVICE)
	PROPOSED STREET LIGHT TRENCH
	EXISTING UTILITY SPLICE BOX
	4'x6'x5" PG&E TRANSFORMER



**NOTE**  
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**PRELIMINARY PLANS  
NOT FOR CONSTRUCTION**

TWO DAYS BEFORE YOU DIG  
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**811**  
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**REVISIONS**

SYMBOL	DATE	DESCRIPTION

**GIACALONE**  
DESIGN SERVICES, INC.  
5820 STONERIDGE MALL, RD., #545 | PLEASANTON, CA 94688  
925.467.1740 | WWW.GIACALONE.COM

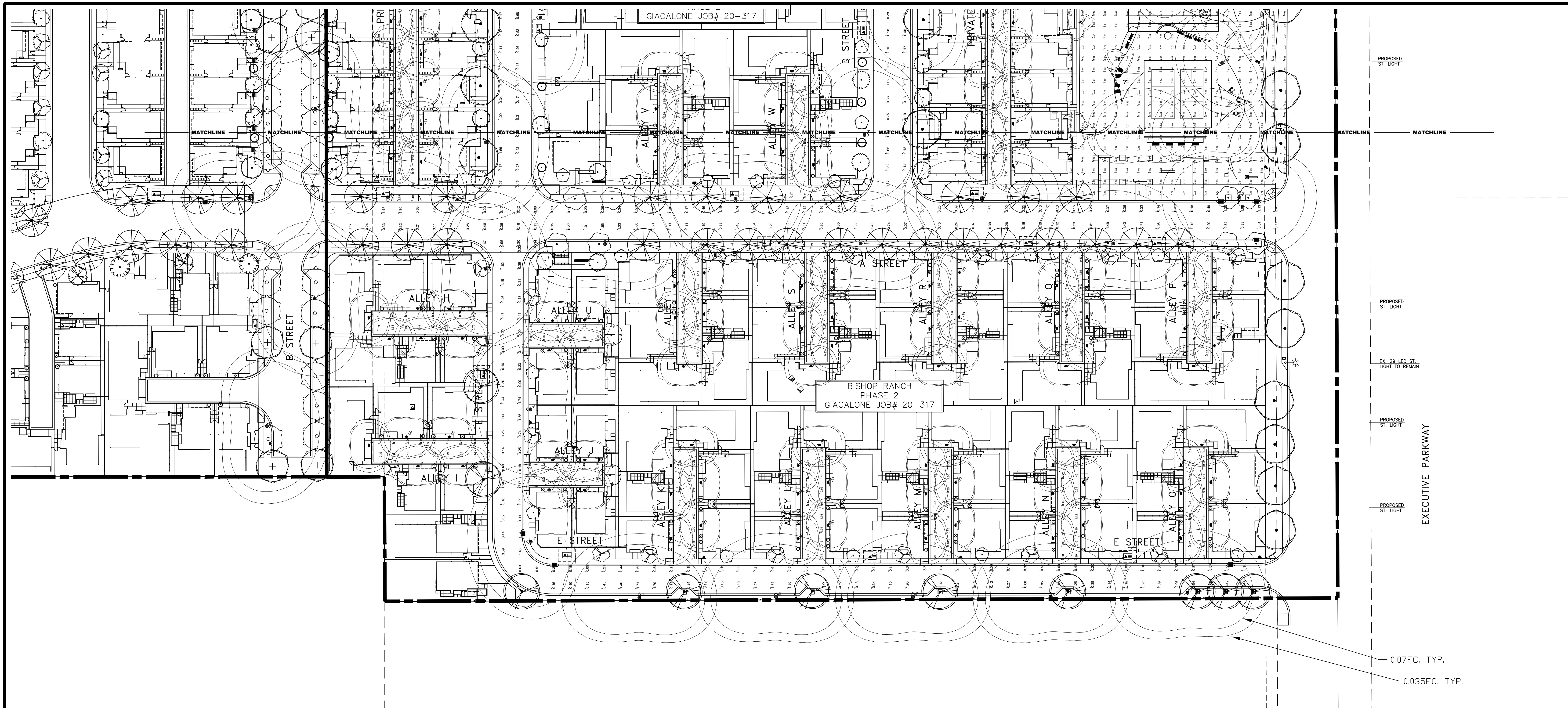
**JOINT TRENCH INTENT**  
SUMMERHILL HOMES, LLC  
BISHOP RANCH PHASE 2  
2400-2440 CAMINO RAMON  
SAN RAMON CALIFORNIA

PROJECT MANAGER:  
ANDREW CUMMINS  
DRAWN BY:  
JPS  
CHECKED BY:  
D. CROWFOOT P.E.  
SCALE:  
1"=30'  
JOB NUMBER:  
20-317  
DATE LAST MODIFIED:  
10-11-21  
SHEET  
**INT3**  
OF 4 SHEETS









PROPOSED ST. LIGHT

PROPOSED ST. LIGHT

EX. 20 LED ST. LIGHT TO REMAIN

PROPOSED ST. LIGHT

PROPOSED ST. LIGHT

EXECUTIVE PARKWAY

0.07FC. TYP.

0.035FC. TYP.

Luminaire Schedule - LED

Project: BISHOP RANCH PHASE 2 - SAN RAMON

Symbol	Qty	Label	Arrangement	LLF	Luminaire Lumens	Luminaire Watts	Description	Filename
	24	AA	Single	0.900	4686	52.21362	GARDCO PPT-140L-1150-NW-G2-2-UNV - 14' POLE	ppt-140-1150-nw-g2-2-unv.ies
	13	CC	Single	0.900	1951	22.30582	GARDCO PPT-140L-450-NW-G2-2-UNV - 10' POLE	ppt-140-450-nw-g2-2-unv.ies
	176	DD	Single	0.900	1247	13	WILLIAMS WMMH-L10-740-EDD-INV-UNV @ 8'	WMMH-L10-740.IES
	22	EE	Single	0.900	492	6.1	GARDCO PBL-42-14L-100-NW-G2-3-UNV	PBL-14L-100-NW-G2-3-UNV.ies

Luminaire Schedule - LED

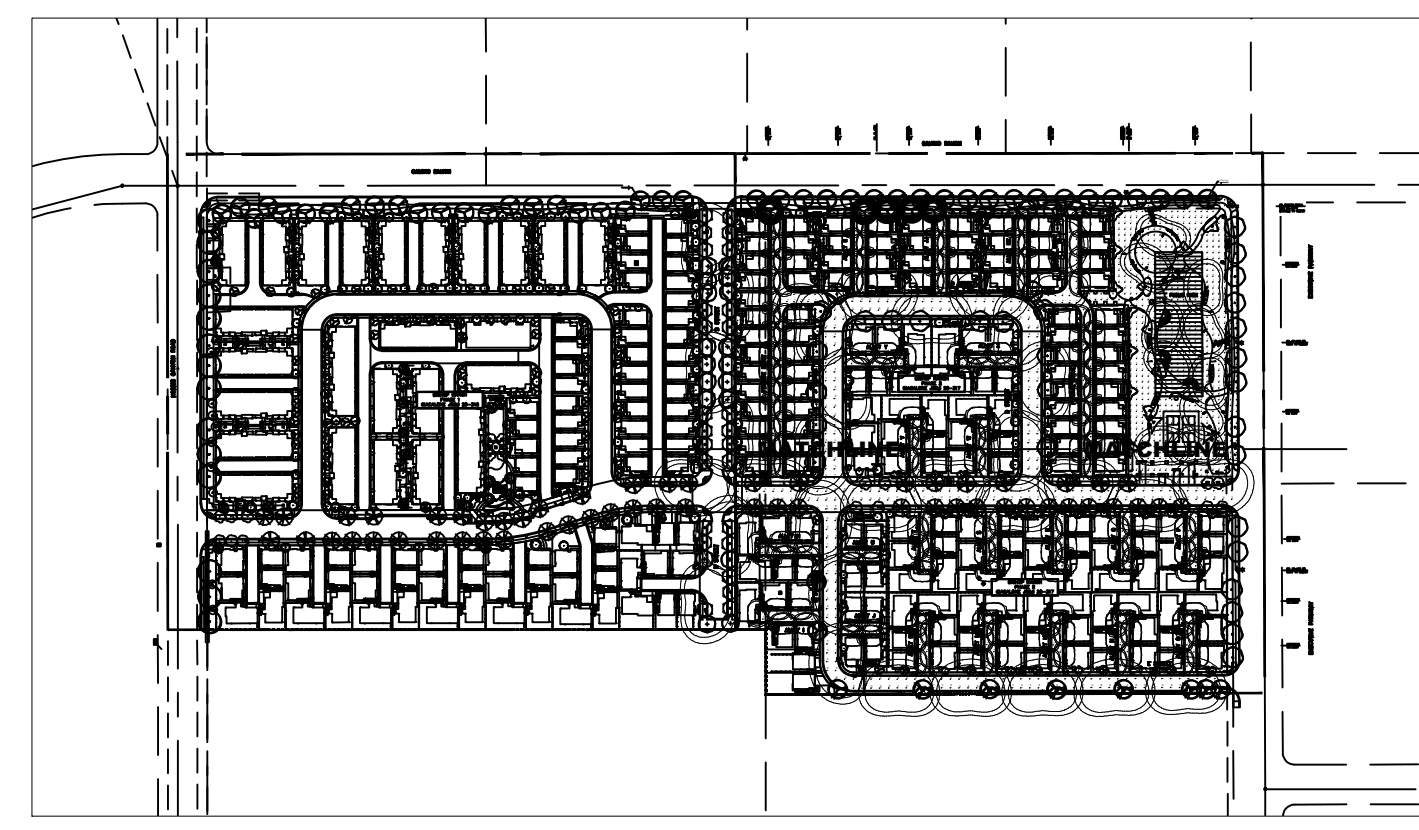
Project: PHASE 1

Symbol	Qty	Label	Arrangement	LLF	Luminaire Lumens	Luminaire Watts	Description	Filename
	7	AA	Single	0.900	4686	52.21362	GARDCO PPT-140L-1150-NW-G2-2-UNV - 14' POLE	ppt-140-1150-nw-g2-2-unv.ies

Calculation Summary

Project: BISHOP RANCH PHASE 2 - SAN RAMON

Description	CalcType	Units	Avg	Max	Min	AvgMin	MaxMin
TYPICAL ALLEY	Illuminance	Fc	0.82	2.15	0.15	5.47	14.33
PATHWAY	Illuminance	Fc	1.09	7.58	0.00	N.A.	N.A.
PRIVATE DRIVE	Illuminance	Fc	0.79	2.02	0.06	13.17	33.67
PRIVATE DRIVE	Illuminance	Fc	0.90	2.57	0.13	6.92	19.77
PUBLIC PARK	Illuminance	Fc	0.25	6.23	0.00	N.A.	N.A.
STREET A	Illuminance	Fc	0.46	1.74	0.08	5.75	21.75
STREET D	Illuminance	Fc	0.42	1.90	0.08	5.25	23.75
STREET E	Illuminance	Fc	0.56	2.06	0.09	6.22	22.89



ALL VALUES SHOWN ARE MAINTAINED HORIZONTAL FOOTCANDLES AT GRADE

PHOTOMETRIC DATA USED AS INPUT FOR THESE CALCULATIONS IS BASED ON ESTABLISHED IES PROCEDURES AND PUBLISHED LAMP RATINGS. FIELD PERFORMANCE WILL DEPEND ON ACTUAL LAMP, BALLAST, ELECTRICAL, AND SITE CHARACTERISTICS.

Calculations have been performed according to IES standards and good practice. Some differences between measured values and calculated results may occur due to tolerances in calculation methods, testing procedures, component performance, measurement techniques and field conditions such as voltage and temperature variations. Input data used to generate the attached calculations such as room dimensions, reflectances, furniture and architectural elements significantly affect the lighting calculations. If the real environment conditions do not match the input data, differences will occur between measured values and calculated values.

Associated Lighting Representatives, Inc.



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REPORT FOR: GIACALONE DESIGN SERVICES  
BY: APPLICATIONS ENGINEERING; RAMON ZAPATA  
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Lighting Analysis  
illumination engineering software  
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LITTLETON, CO 80127

PROJECT DESCRIPTION

BISHOP RANCH PHASE 2  
CITY OF SAN RAMON Photovoltaic Study

INT 8

DRAWING NO. / INPUT FILE  
19300BEN.DWG / 19300BEN.A32

SCALE  
1" = 40'

SHEET  
2 OF 2

DATE  
10.08.2021

REV  
X